



February 20th, 2026

Lucy Weber
Asset Manager
Texas Department of Housing and Community Affairs
221 E. 11th Street
Austin, TX 78701
Email: lucy.weber@tdhca.state.tx.us

Re: The Heights at Crowley, TDHCA # 23129 – Request for Material Amendment

Dear Ms. Lucy Weber,

Please accept this request for a Material Amendment to the bedroom unit mix and site plan for The Heights at Crowley (TDHCA #23129). We are requesting the bedroom unit mix and architectural site plan be amended as follows:

Bedroom Unit Mix:

- Replace six (6) 3B/2B units with six (6) 2B/2B units

Site Plan:

- Reduce the number of residential buildings from three (3) to two (2).

Notes:

- *The total unit count did not change from 96 units.*
- *The Net Rentable Square Footage was modified by less than 1.0% (from 102,024 Sq. Ft. to 101,112 Sq. Ft), which would not otherwise be considered a material amendment.*
- *The total common area increased from 16,372 Sq. Ft to 24,420 Sq. Ft. This was due mostly to the increase in the size of the clubhouse.*

Reason Change was Necessary: During the permitting process, additional unforeseen site constraints were created by three main factors: (1) A drainage study was conducted by Kimley-Horn and Associates revealed City of Fort Worth Floodplain which extended into the property on the west side further than initial anticipated; (2) A wetlands study was conducted by Kimley-Horn and Associates which revealed existing wetlands extended into the property on the west side further than anticipated; and (3) Zoning review introduced a minimum preservation of tree canopy coverage requirement, which the initial design could no longer comply with due to the expanded floodplain and wetlands areas. Due to these three new site constraints, the design was modified by combining three (3) residential buildings into two (2) residential in order to ensure adequate/safe distance was maintained from the new floodplain and wetlands areas, and to ensure that the preservation of existing trees on-site could be maintained and comply with City of Fort Worth zoning requirements. As part of the change to combine the residential buildings, the modified buildings two stacks of 3-bedrooms units (six total) had to be converted to two stacks of 2-bedroom units, resulting in a 1 for 1 replacement of six (6) total units from 3-bedroom to 2-bedrooms units.

Due to the **unforeseeable** nature of the circumstances that were determined during the permitting process through (1) required drainage studies, (2) required wetland mitigation studies, and (3) City of Fort Worth tree preservation requirements, we kindly request that the modifications to the unit mix to replace six (6) 3-bedroom units with six (6) 2-bedroom be accepted.

We appreciate your help in processing the request.

Please contact me at (214)613-6569 or aiglesias@ghdevelopment.com with any questions.

Sincerely,
TX Crowley 2023, Ltd.


Adrian Iglesias, Authorized Representative

The Heights at Crowley - Modified Bed/Bathroom Mix

Amended: Bedroom/Bathroom Mix

Unit Type	# Units	Per Unit	Per Unit	Total	Total
		Bedrooms	Bathrooms	Bedrooms	Bathrooms
A1 / A2	12	1	1	12	12
B1 / B2	54	2	2	108	108
C1	30	3	2	90	60
	96			210	180

Original Approved at Underwriting: Bedroom/Bathroom Mix

Unit Type	# Units	Per Unit	Per Unit	Total	Total
		Bedrooms	Bathrooms	Bedrooms	Bathrooms
A1 / A2	12	1	1	12	12
B1 / B2	48	2	2	96	96
C1	36	3	2	108	72
	96			216	180

**REVISED APPLICATION EXHIBITS:
PREVIOUS ARCHITECTURAL PLANS
(FOR REFERENCE)**



HEIGHTS AT CROWLEY ROAD

February 17, 2023

Independent Living Units:

UNIT TYPE	Building Quantity			BUILDING #1			BUILDING #2			BUILDING #3			TOTAL UNITS	PATIO SF	STORAGE SF	NET RENTABLE	NET RENTABLE W/PATIO
	NET RENT	BALCONY	STORAGE	1ST FLOOR	2ND FLOOR	3RD FLOOR	1ST FLOOR	2ND FLOOR	3RD FLOOR	1ST FLOOR	2ND FLOOR	3RD FLOOR					
A-1 (Tax)	716	55	15	0	2	2	0	0	0	0	0	0	4	220	60	2,864	3,144
A-1hc	716	55	15	1	0	0	0	0	0	0	0	0	1	55	15	716	786
A-1hv	716	55	15	1	0	0	0	0	0	0	0	0	1	55	15	716	786
A-2 (Tax)	778	55	18	2	2	2	0	0	0	0	0	0	6	330	108	4,668	5,106
A-2hc	778	55	18	0	0	0	0	0	0	0	0	0	0	0	0	0	0
B-1 (Tax)	1,006	57	16	2	2	2	0	0	0	4	6	6	22	1,254	352	22,132	23,738
B-1hc	1,006	57	16	0	0	0	0	0	0	1	0	0	1	57	16	1,006	1,079
B-1hv	1,006	57	16	0	0	0	0	0	0	1	0	0	1	57	16	1,006	1,079
B-2 (Tax)	1,061	65	17	4	4	4	3	4	4	4	0	0	23	1,495	391	24,403	26,289
B-2hc	1,061	65	17	0	0	0	1	0	0	0	0	0	1	65	17	1,061	1,143
B-2hv	1,061	65	17	0	0	0	0	0	0	0	0	0	0	0	0	0	0
C-1 (Tax)	1,207	46	15	2	2	2	2	4	4	5	6	6	33	1,518	495	39,831	41,844
C-1hc	1,207	46	15	0	0	0	1	0	0	1	0	0	2	92	30	2,414	2,536
C-1hv	1,207	46	15	0	0	0	1	0	0	0	0	0	1	46	15	1,207	1,268
Total Units Per Building				12	12	12	8	8	8	12	12	12	96				
Patio/Balcony				882	882	882	572	572	572	804	804	804	6,774	Total SF	Total SF	Total SF	Total SF
Net Rentable - Units				11,658	11,658	11,658	9,072	9,072	9,072	13,278	13,278	13,278	102,024				
Net Rentable W/Patio				12,540	12,540	12,540	9,644	9,644	9,644	14,082	14,082	14,082	108,798			102,024	108,798

Building Quantity	Gross Per Floor Breakdown									TOTAL
	CLUB	BUILDING TYPE 1			BUILDING TYPE 2			BUILDING #3		
	1ST FLOOR	2ND FLOOR	3RD FLOOR	1ST FLOOR	2ND FLOOR	3RD FLOOR	1ST FLOOR	2ND FLOOR	3RD FLOOR	
Net Rentable - Units	11,658	11,658	11,658	9,072	9,072	9,072	13,278	13,278	13,278	102,024
Porches/Patios/Balconies	882	882	882	572	572	572	804	804	804	6,774
Club	3,483									3,483
Breezeway	2,282	2,282	2,282	1,913	1,913	1,913	3,086	3,086	3,086	12,585
Elevator/Stairs	152	0	0	152	0	0	223	0	0	304
Mech/Telecom/Electrical/FDC	133	64	64	120	51	51	146	58	58	483
Maintenance	0	0	0	0	0	0	0	0	0	0
Storage	136	136	136	224	224	224	117	117	117	1,080
Total Overall SqFt.	3,483	15,243	15,022	15,022	12,053	11,832	11,832	17,654	17,343	126,733

TOTAL COMMON AREA: 16,372 SQ. FT.

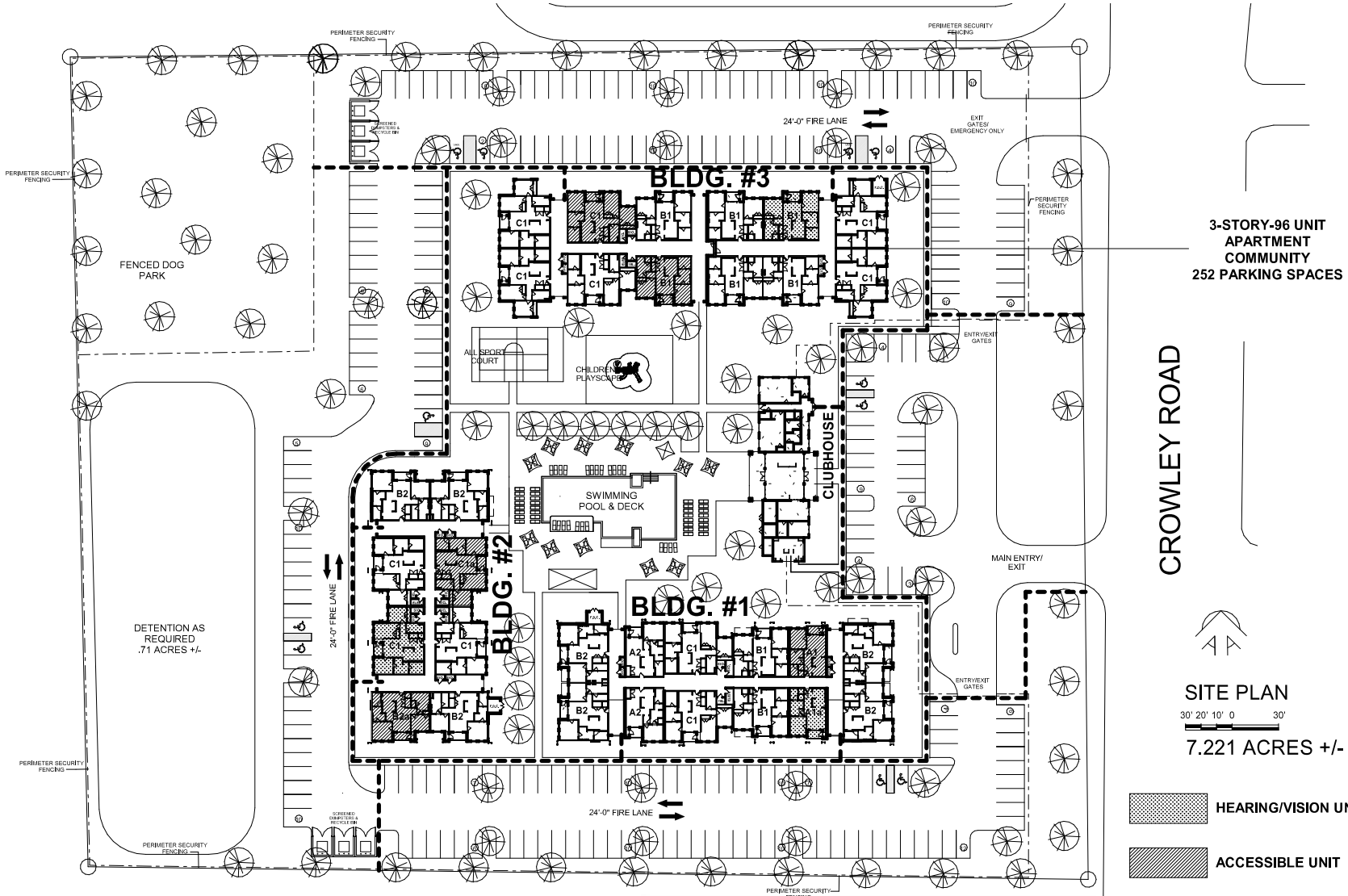
GHP - HEIGHTS AT CROWLEY		Provided Parking	
Site Acreage	7.221	Surface Spaces	241
Residential Density	13.3 Units per Acre	Surface HC Spaces	11
Building Height	3-Story Residential	Surface Van Spaces	2
Crowley Required Parking		Carport Space	0
1.5 spaces per 1-bedroom unit, 2 spaces per 2-bedroom or more unit. For 1-bedroom units, 1 visitor parking space provided for every 4 dwelling units.		Carport HC Spaces	0
Total Required: 210 spaces		Carport Van Spaces	0
		Total Spaces	252

DATE:
02/14/2021

HEIGHTS AT CROWLEY ROAD
Fort Worth, Texas

*NOTE:
 APPLICANT ASSURES THAT 20%, 30%, 40%, 50%, 60%, 70%, AND 80% UNIT DESIGNATIONS ARE/WILL
 BE DISPERSED ACROSS ALL UNIT TYPES IN A MANNER THAT DOES NOT VIOLATE FAIR HOUSING
 LAWS.




*NOTE:
 SITE NOT IN THE FLOOD PLAIN



3-STORY-96 UNIT
 APARTMENT
 COMMUNITY
 252 PARKING SPACES

CROWLEY ROAD

SITE PLAN
 30' 20' 10' 0' 30'
 7.221 ACRES +/-

-  HEARING/VISION UNIT
-  ACCESSIBLE UNIT
-  ACCESSIBLE ROUTE

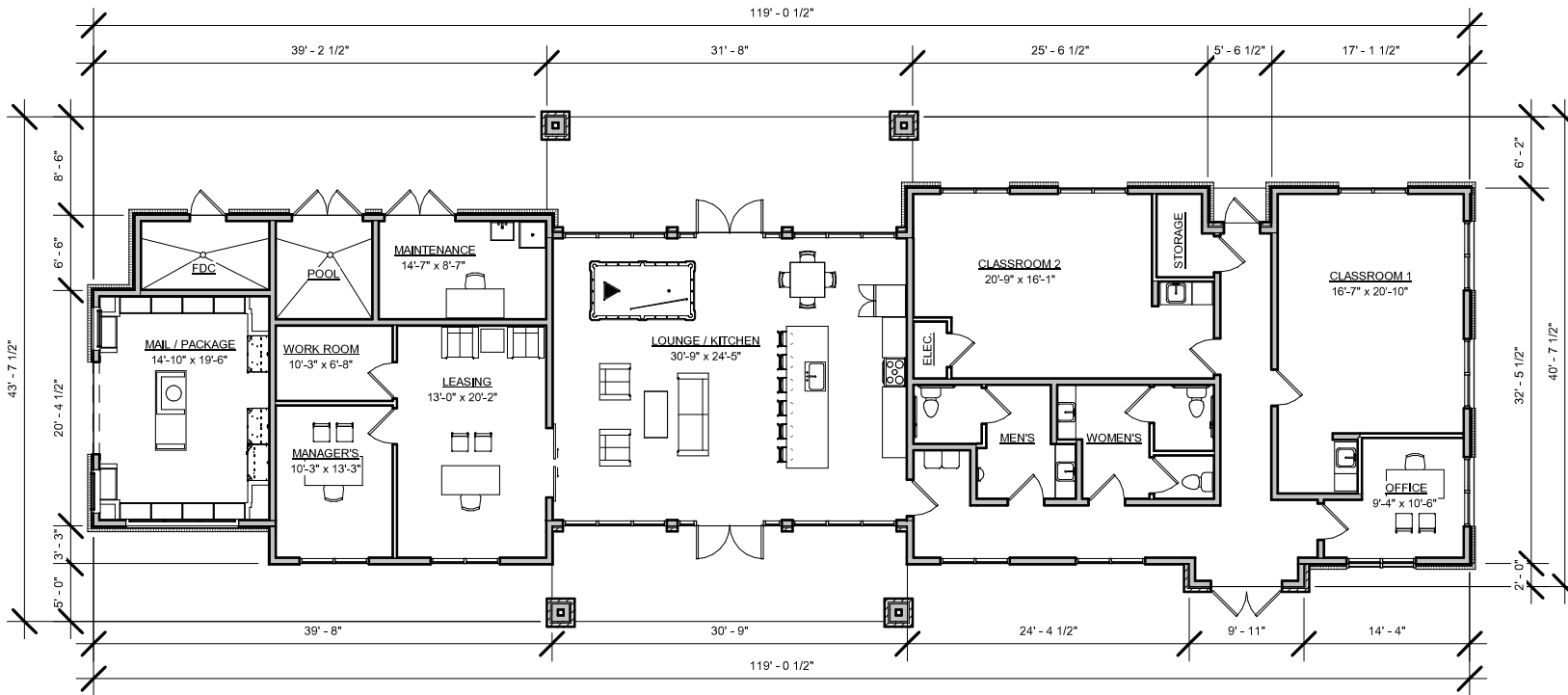
GHP - HEIGHTS AT CROWLEY		Provided Parking	
Site Acreage	7.221	Surface Spaces	241
Residential Density	13.3 Units per Acre	Surface HC Spaces	11
Building Height	3-Story Residential	Surface Van Spaces	2
Crowley Required Parking		Carport Space	0
1.5 spaces per 1-bedroom unit, 2 spaces per 2-bedroom or more unit. For 1-bedroom units, 1 visitor parking space provided for every 4 dwelling units.		Carport HC Spaces	0
Total Required: 210 spaces		Carport Van Spaces	0
		Total Spaces	252

Included in 11 total surface HC parking spaces

DATE:
 02/14/2021

HEIGHTS AT CROWLEY ROAD
 Fort Worth, Texas

DATE:
02/14/2023



1 CLUBHOUSE FLOOR PLAN
1/16" = 1'-0"

	AC	EMPLOYEE	RESIDENT
STORAGE	X	39 S.F.	N/A
MAIN., TELE., MECH., ELEC.		160 S.F.	N/A
OFFICES, WORK ROOM	X	354 S.F.	N/A
LEASING	X	N/A	284 S.F.
LOUNGE / KITCHEN	X	N/A	792 S.F.
CLASSROOM	X	N/A	801 S.F.
RESTROOMS	X	N/A	253 S.F.
MAIL / PACKAGE		N/A	312 S.F.
POOL / FDC		155 S.F.	N/A
CORRIDOR	X	N/A	333 S.F.
TOTAL		708 S.F.	2,775 S.F.
BLDG TOTAL		3,483 S.F. (EXCLUDING PORCHES / PATIOS)	

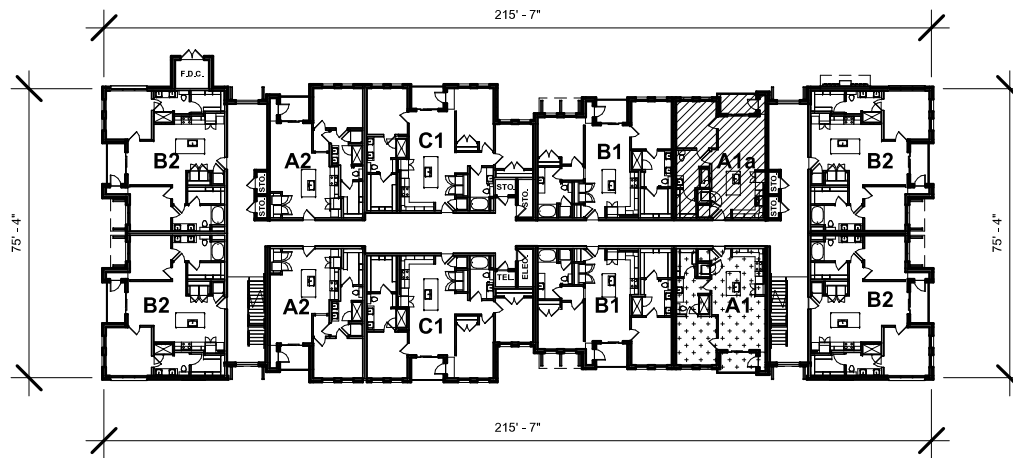
HEIGHTS AT CROWLEY ROAD

Fort Worth, Texas

DATE:
02/14/2023

HEIGHTS AT CROWLEY ROAD

Fort Worth, Texas



01 FIRST FLOOR PLAN - BUILDING #1
1" = 50'-0"

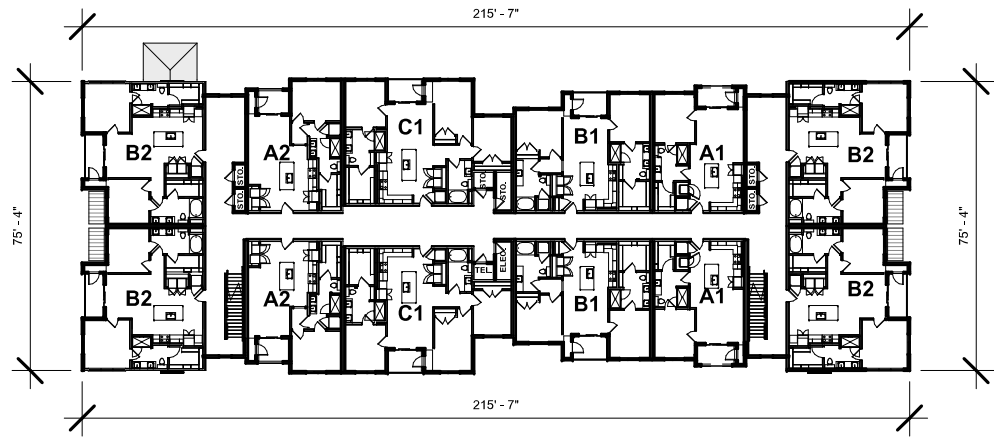
BUILDING SQUARE FOOTAGE CHART:

NET RENTABLE:	11,658 SQ. FT.
PORCHES / PATIOS /BALCONIES & BALCONY STORAGE	882 SQ. FT.
CLUBHOUSE:	N/A
STORAGE:	136 SQ. FT.
MECH / TELECOM / ELECTRICAL / FDC:	133 SQ. FT.
BREEZEWAY / CORRIDORS:	2,282 SQ. FT.
STAIRS / ELEVATORS:	152 SQ. FT.
GROSS SQ. FT.:	15, 243 SQ. FT.

 - HC ACCESSIBLE UNIT
  - H / V: HEARING / VISION UNIT



DATE:
02/14/2023

HEIGHTS AT CROWLEY ROAD
Fort Worth, Texas



02 SECOND FLOOR PLAN - BUILDING #1
1" = 50'-0"

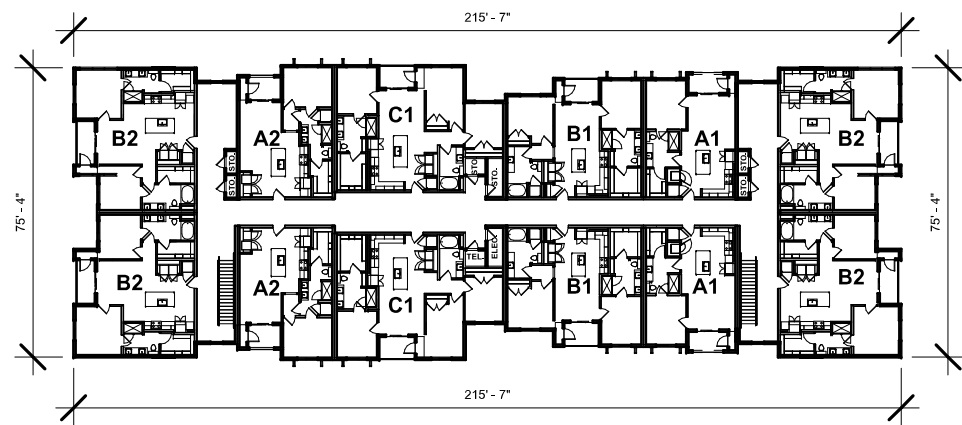
BUILDING SQUARE FOOTAGE CHART:

NET RENTABLE:	11,658 SQ. FT.
PORCHES / PATIOS & BALCONIES:	882 SQ. FT.
CLUBHOUSE:	N/A
STORAGE:	136 SQ. FT.
MECH / TELECOM / ELECTRICAL / FDC:	64 SQ. FT.
BREEZEWAY / CORRIDORS:	2,282 SQ. FT.
STAIRS / ELEVATORS:	N/A
GROSS SQ. FT.:	15,022 SQ. FT.
 - HC ACCESSIBLE UNIT	 - H / V: HEARING / VISION UNIT

ARRIVE ARCHITECTURE GROUP
Architecture
Planning
Project Management
2344 Highway 121 · Suite 100 · Bedford, Texas 76021 · www.ArriveAG.com
Ph 817.514.0584 · Fx 817.514.0694

DATE:
02/14/2023



HEIGHTS AT CROWLEY ROAD
Fort Worth, Texas



03

THIRD FLOOR PLAN - BUILDING #1
1" = 50'-0"

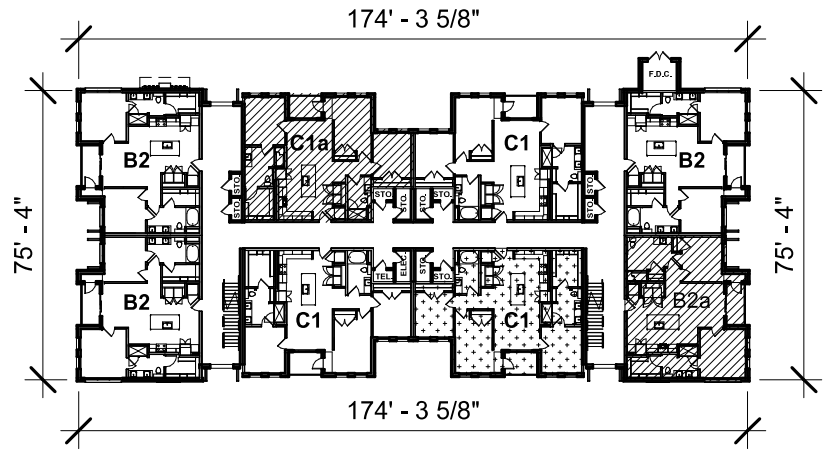
BUILDING SQUARE FOOTAGE CHART:

NET RENTABLE:	11,658 SQ. FT.
PORCHES / PATIOS & BALCONIES:	882 SQ. FT.
CLUBHOUSE:	N/A
STORAGE:	136 SQ. FT.
MECH / TELECOM / ELECTRICAL / FDC:	64 SQ. FT.
BREEZEWAY / CORRIDORS:	2,282 SQ. FT.
STAIRS / ELEVATORS:	N/A
GROSS SQ. FT.:	15,022 SQ. FT.
 - HC ACCESSIBLE UNIT	 - H / V: HEARING / VISION UNIT

ARRIVE
ARCHITECTURE GROUP
Architecture
Planning
Project Management
2344 Highway 121 · Suite 100 · Bedford, Texas 76021 · www.ArriveAG.com
Ph 817.514.0584 · Fx 817.514.0694

DATE:
02/14/2023

HEIGHTS AT CROWLEY ROAD
Fort Worth, Texas



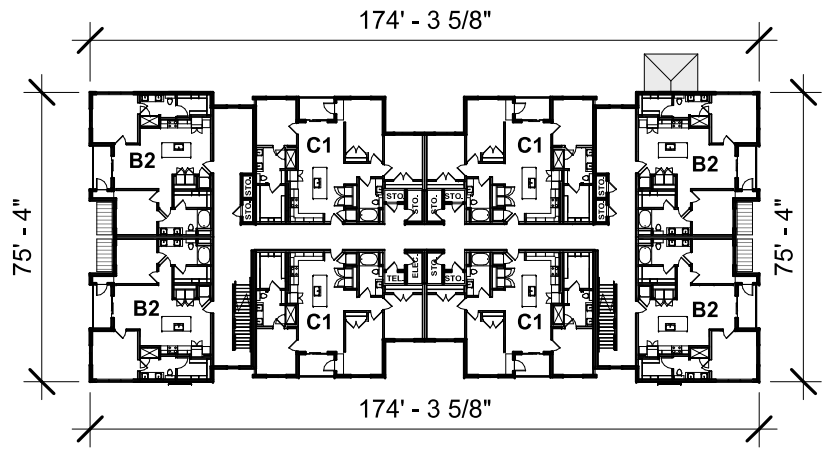
1 **FIRST FLOOR PLAN - BUILDING #2**
1" = 50'-0"

BUILDING SQUARE FOOTAGE CHART:

NET RENTABLE:	9,072 SQ. FT.
PORCHES / PATIOS / BALCONIES & BALCONY STORAGE:	572 SQ. FT.
CLUBHOUSE:	N/A
STORAGE:	224 SQ. FT.
MECH / TELECOM / ELECTRICAL / FDC:	120 SQ. FT.
BREEZEWAY / CORRIDORS:	1,913 SQ. FT.
STAIRS / ELEVATORS:	152 SQ. FT.
GROSS SQ. FT.:	12,053 SQ. FT.
- HC ACCESSIBLE UNIT	- H / V: HEARING / VISION UNIT

DATE:
02/14/2023

HEIGHTS AT CROWLEY ROAD
Fort Worth, Texas





1

SECOND FLOOR PLAN - BUILDING #2

1" = 50'-0"

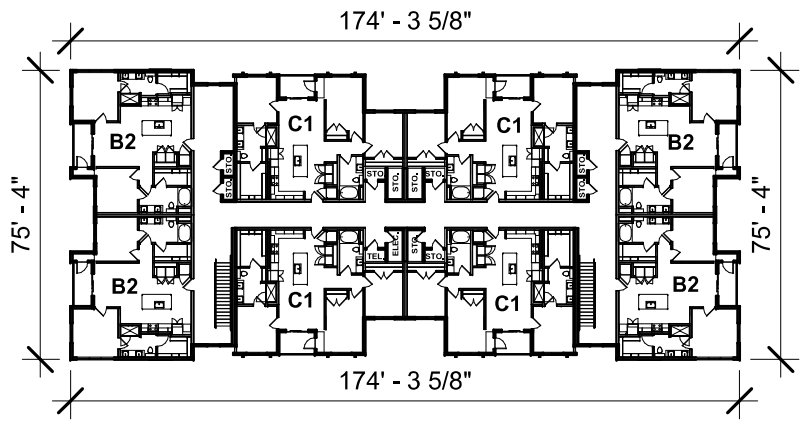
BUILDING SQUARE FOOTAGE CHART:

NET RENTABLE:	9,072 SQ. FT.
PORCHES / PATIOS & BALCONIES:	572 SQ. FT.
CLUBHOUSE:	N/A
STORAGE:	224 SQ. FT.
MECH / TELECOM / ELECTRICAL / FDC:	51 SQ. FT.
BREEZEWAY / CORRIDORS:	1,913 SQ. FT.
STAIRS / ELEVATORS:	N/A
GROSS SQ. FT.:	11,832 SQ. FT.
 - HC ACCESSIBLE UNIT	 - H / V: HEARING / VISION UNIT

ARRIVE
ARCHITECTURE GROUP
Architecture
Planning
Project Management
2344 Highway 121 · Suite 100 · Bedford, Texas 76021 · www.ArriveAG.com
Ph 817.514.0584 · Fx 817.514.0694



DATE:
02/14/2023

HEIGHTS AT CROWLEY ROAD
Fort Worth, Texas



1 THIRD FLOOR PLAN - BUILDING #2
1" = 50'-0"

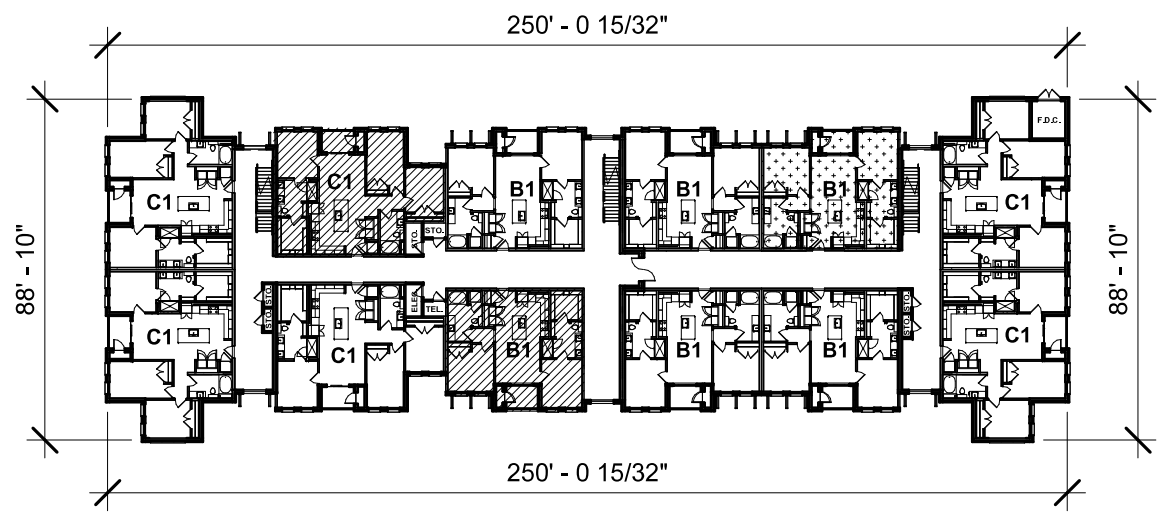
BUILDING SQUARE FOOTAGE CHART:

NET RENTABLE:	9,072 SQ. FT.
PORCHES / PATIOS & BALCONIES:	572 SQ. FT.
CLUBHOUSE:	N/A
STORAGE:	224 SQ. FT.
MECH / TELECOM / ELECTRICAL / FDC:	51 SQ. FT.
BREEZEWAY / CORRIDORS:	1,913 SQ. FT.
STAIRS / ELEVATORS:	N/A
GROSS SQ. FT.:	11,832 SQ. FT.
 - HC ACCESSIBLE UNIT	 - H / V: HEARING / VISION UNIT

ARRIVE ARCHITECTURE GROUP
Architecture
Planning
Project Management
2344 Highway 121 · Suite 100 · Bedford, Texas 76021 · www.ArriveAG.com
Ph 817.514.0584 · Fx 817.514.0694

DATE:
02/14/2023

HEIGHTS AT CROWLEY ROAD
Fort Worth, Texas



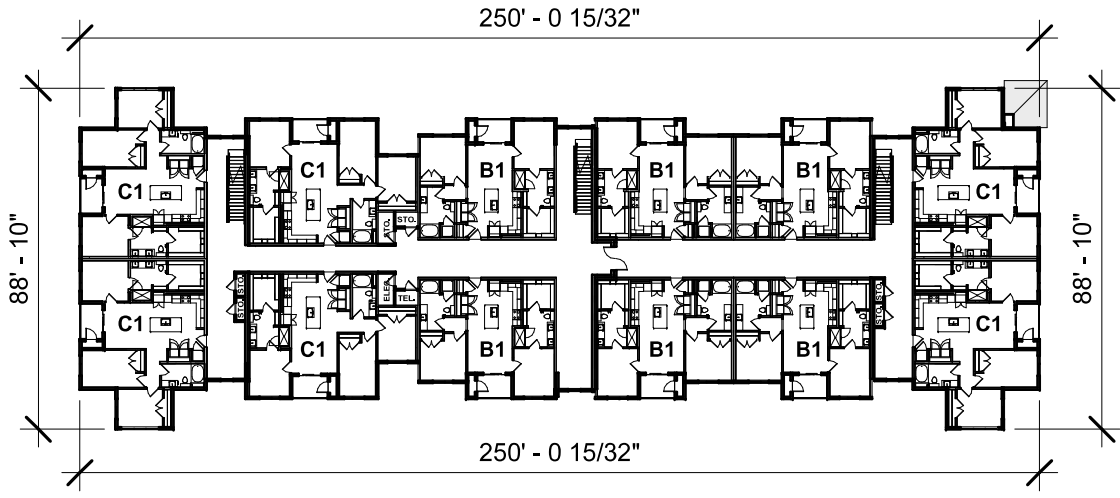
1 **FIRST FLOOR PLAN - BUILDING #3**
1" = 50'-0"

BUILDING SQUARE FOOTAGE CHART:

NET RENTABLE:	13,278 SQ. FT.
PORCHES / PATIOS & BALCONIES:	804 SQ. FT.
CLUBHOUSE:	N/A
STORAGE:	117 SQ. FT.
MECH / TELECOM / ELECTRICAL / FDC:	146 SQ. FT.
BREEZEWAY / CORRIDORS:	3,086 SQ. FT.
STAIRS / ELEVATORS:	223 SQ. FT.
GROSS SQ. FT.:	17,854 SQ. FT.
- HC ACCESSIBLE UNIT	- H / V: HEARING / VISION UNIT



DATE:
02/14/2023

HEIGHTS AT CROWLEY ROAD
Fort Worth, Texas



1 SECOND FLOOR PLAN - BUILDING #3
1" = 50'-0"

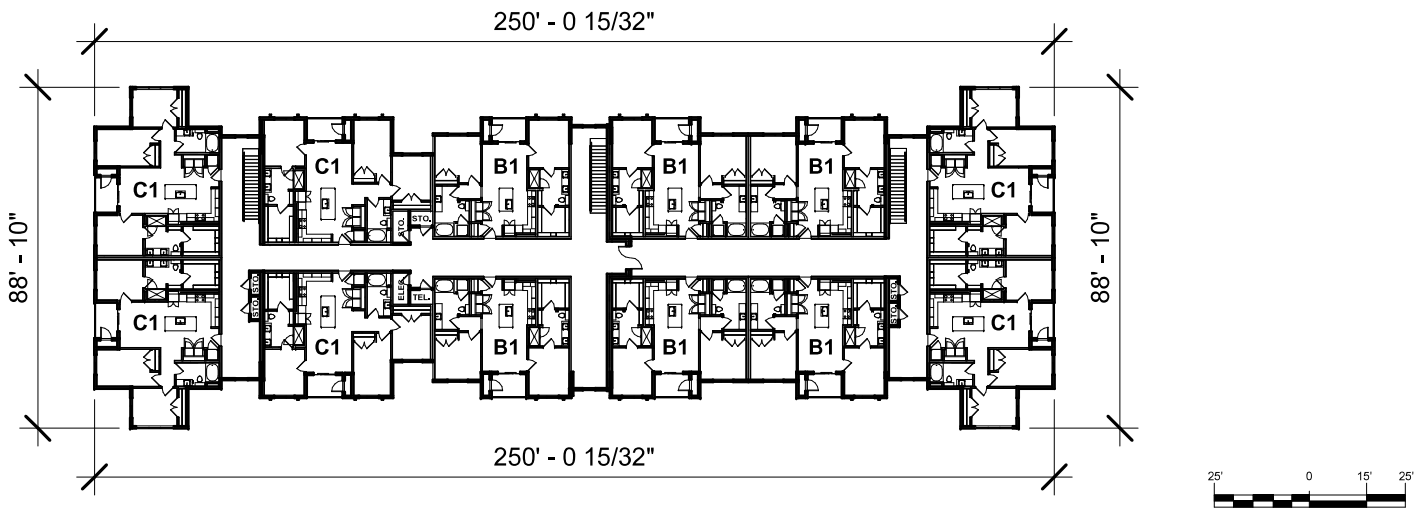
BUILDING SQUARE FOOTAGE CHART:

NET RENTABLE:	13,278 SQ. FT.
PORCHES / PATIOS & BALCONIES:	804 SQ. FT.
CLUBHOUSE:	N/A
STORAGE:	117 SQ. FT.
MECH / TELECOM / ELECTRICAL / FDC:	58 SQ. FT.
BREEZEWAY / CORRIDORS:	3,086 SQ. FT.
STAIRS / ELEVATORS:	N/A
GROSS SQ. FT.:	17,343 SQ. FT.
 - HC ACCESSIBLE UNIT	 - H / V: HEARING / VISION UNIT

ARRIVE ARCHITECTURE GROUP
Architecture
Planning
Project Management
2344 Highway 121 • Suite 100 • Bedford, Texas 76021 • www.ArriveAG.com
Ph 817.514.0584 • Fx 817.514.0694



DATE:
02/14/2023

HEIGHTS AT CROWLEY ROAD
Fort Worth, Texas



1 **THIRD FLOOR PLAN - BUILDING #3**
1" = 50'-0"

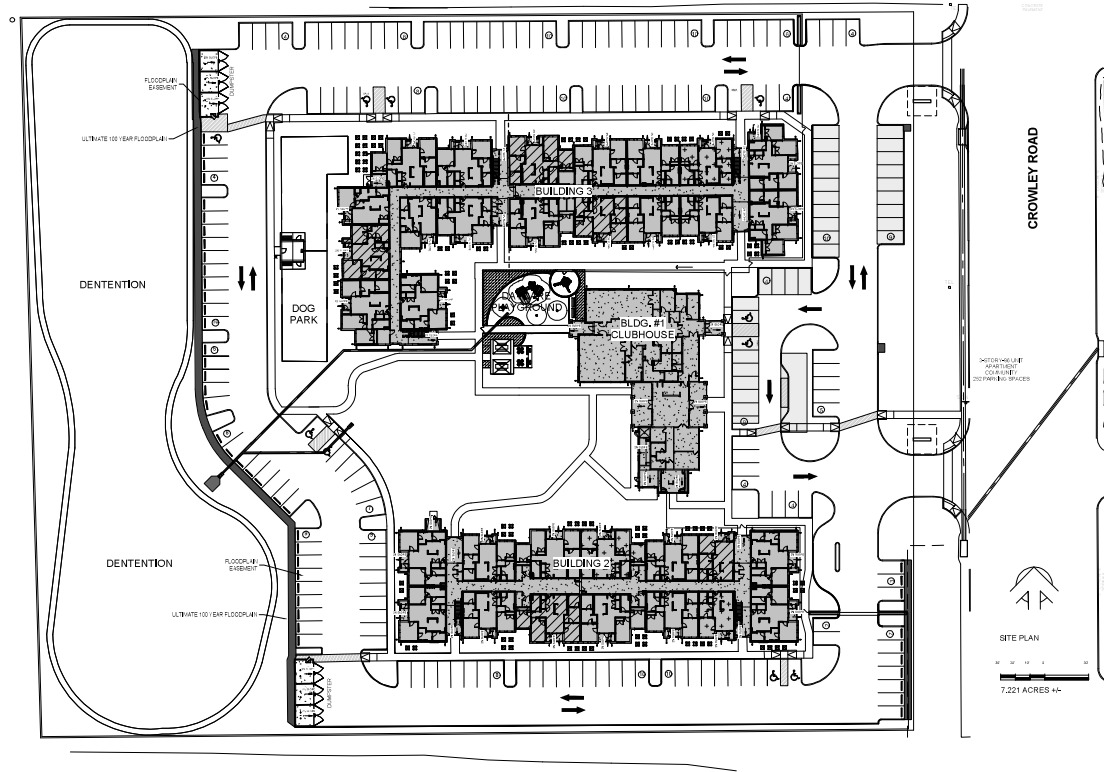
BUILDING SQUARE FOOTAGE CHART:

NET RENTABLE:	13,278 SQ. FT.
PORCHES / PATIOS & BALCONIES:	804 SQ. FT.
CLUBHOUSE:	N/A
STORAGE:	117 SQ. FT.
MECH / TELECOM / ELECTRICAL / FDC:	58 SQ. FT.
BREEZEWAY / CORRIDORS:	3,086 SQ. FT.
STAIRS / ELEVATORS:	N/A
GROSS SQ. FT.:	17,343 SQ. FT.
 - HC ACCESSIBLE UNIT	 - H / V: HEARING / VISION UNIT

REVISED APPLICATION EXHIBITS: REVISED DESIGN (ARCHITECTURAL) PLANS

HEIGHTS AT CROWLEY ROAD

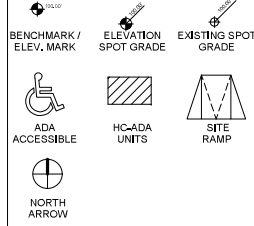
Fort Worth, TX



01 ARCHITECTURAL REFERENCE SITE PLAN
1" = 40'-0"

ARCHITECTURAL SITE PLAN GENERAL NOTES

1. THE ARCHITECTURAL DRAWINGS GRAPHICALLY INDICATE APPROXIMATE LOCATION OF BUILDINGS, PARKING AND DRIVES ONLY.
2. REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR LANDSCAPING, SIDEWALKS & ACCESSIBLE ROUTES TO BUILDING PER REQUIREMENTS OF THE FAIR HOUSING GUIDELINES, VEHICULAR ACCESS CONTROL, GATES, AND 1 HANDICAP SPACES.
3. REFER TO CIVIL ENGINEER'S DRAWINGS FOR LEGAL DESCRIPTION AND BUILDING LOCATIONS ON PROJECT SITE.
4. REFER TO CIVIL ENGINEER'S DRAWINGS FOR LOCATION OF REQUIRED RETAINING WALLS, AND ANY OTHER SITE FEATURES.
5. ALL DIMENSIONS INDICATED ON THIS PLAN ARE FOR REFERENCE ONLY. REFER TO CIVIL ENGINEER'S DRAWINGS FOR ALL DIMENSIONAL CONTROLS, GRADING, DRAINAGE & UTILITY WORK.
6. ALL SURFACE MATERIALS SHALL MEET CITY, STATE PUBLIC WORKS DEPARTMENT MINIMUM STANDARDS.
7. ALL LANDSCAPING SHALL BE PROVIDED IN ACCORDANCE WITH ALL STANDARDS AND REQUIREMENTS SET FORTH BY CITY, STATE.
8. ALL SIGNS, LIGHTING, LUMINAIRES AND EXTERIOR SPEAKERS SHALL MEET CITY ORDINANCES.
9. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE APPROVED CIVIL DRAWINGS, THE 2018 INTERNATIONAL BUILDING CODE & OTHER REQUIREMENTS AND ORDINANCES OF THE CITY, STATE.
10. REFER TO MECHANICAL ENGINEER'S DRAWINGS FOR LOCATIONS OF ALL METERS, PANELS, CLEAN OUTS, TRANSFORMERS AND PARKING LOT LIGHTING.
11. PROVIDE HANDICAP RAMPS AT SIDEWALKS WHERE SHOWN AND AS REQUIRED BY CITY, STATE.
12. FIRE LANE STRIPING AND CONSTRUCTION TO BE PER CITY, STATE REQUIREMENTS.
13. REFER TO CIVIL DRAWINGS FOR DETENTION REQUIREMENTS IF ANY.
14. ALL PAVING, CURBS AND SIDEWALKS TO BE BUILT AND DETAILED PER CITY, STATE MINIMUM STANDARDS.

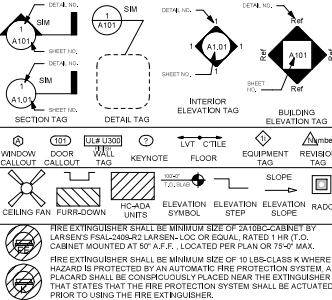


WALL TYPES LEGENDS

[Symbol]	UL #1302 1HR-INTERIOR PARTITION WALL	[Symbol]	ULP #8102 1HR-BREEZEWAY WALL/UNIT WALL
[Symbol]	UL #1302 1HR-INTERIOR CORRIDOR WALL	[Symbol]	UL #1356 1HR-EXTERIOR BRICK WALL
[Symbol]	UL #1341 1HR-INTERIOR TENANT WALL	[Symbol]	UL #1356 1HR-EXTERIOR BRICK SIDING/PANEL WALL
[Symbol]	UL #1301 1HR-INTERIOR WALL	[Symbol]	UL #1356 1HR-EXTERIOR STONE VENEER WALL
[Symbol]	UL #1301 2HR-STAIR WALL	[Symbol]	UL #1450 1HR-EXTERIOR STUCCO WALL
[Symbol]	UL #1301 2HR-STAIR WALL BREAK	[Symbol]	UL #1421 1HR/2HR-INTERIOR METAL FRAMING WALL
[Symbol]	ULP #3321 2HR-STAIR/WALL UNIT WALL	[Symbol]	UL #1425 1HR/2HR-EXTERIOR METAL FRAMING WALL
[Symbol]	UL #1330 2 HOUR FIREWALL (NOTE: 2 HOUR FIREWALL TO CONTINUE INTO ATTIC SPACE ABOVE PORCH. DO NOT PENETRATE)	[Symbol]	UL #1305 2HR-CMU BLOCK
[Symbol]	2X6 WALL	[Symbol]	UL #1922 1HR-ROOF/CEILING
[Symbol]	[Symbol] BLOCKING	[Symbol]	FC #511 2HR-FLOOR/CEILING
[Symbol]	UL #1323 1HR-FLOOR/CEILING	[Symbol]	FC #546 1HR-FLOOR/CEILING
[Symbol]	UL #1550 2HR-FLOOR/CEILING		

NOT ALL ULs LISTED WILL BE USED REFER TO DETAIL DRAWINGS FOR UL WALL DETAILS REFER TO ELEVATIONS FOR TYPE OF EXTERIOR FINISH MATERIALS

SYMBOLS



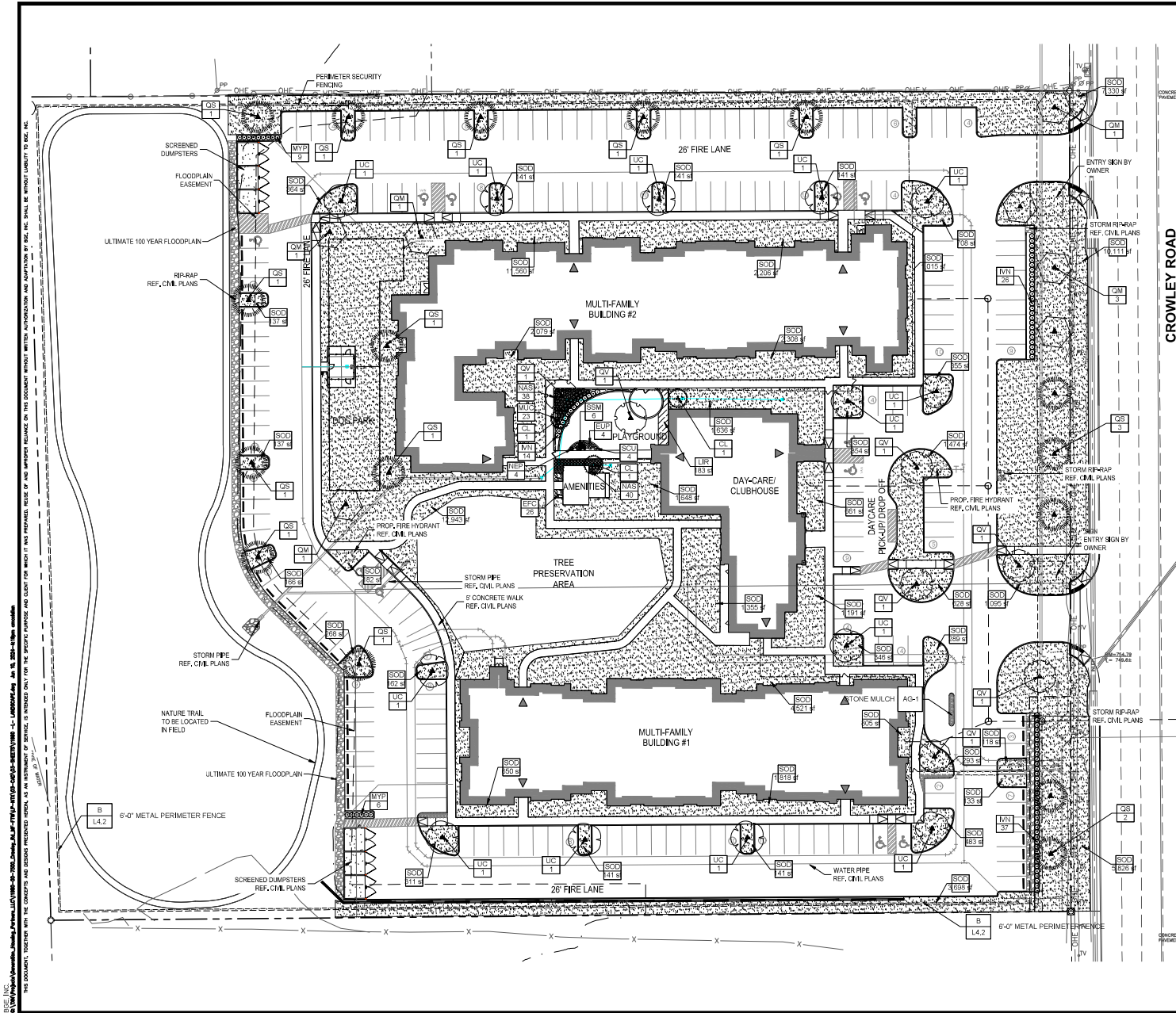
VICINITY MAP



ARRIVE! ARCHITECTURAL GROUP
2344 Highway 121 - Suite 100 - Bedford, Texas 76021 - www.arriveag.com
PH: 817.514.0584 - FX: 817.514.0594



DATE: 06/10/2024
SHEET NO. G2.00
As Indicated



PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME
CANOPY TREES			
QM	7	Quercus macrocarpa	
QS	16	Quercus shumardi	
QV	7	Quercus virginiana	
UC	13	Ulmus crassifolia	
ORNAMENTAL TREES			
CL	3	Chilopsis linearis	
SHRUBS			
EUP	4	Eupatorium greggii	
IVN	77	Ilex vomitoria 'Nana'	
MYP	15	Myrica pusilla	
NEP	4	Nepeta x 'Clar's Pajamas'	
SSM	6	Salvia x sylvestris 'May Night'	
SCU	4	Scutellaria suffruticosa	
GRASSES			
MUC	23	Muhlenbergia capillaris	
NAS	78	Nassella tenuissima	
GROUND COVERS			
EFC	26	Euonymus fortunei 'Cobratrus'	
LIR	183 sf	Liriope gigantea	
SOD			
SOD	82,069 sf	Cynodon dactylon	

CROWLEY ROAD

BGE, Inc.
 777 Main St., Suite 1900
 Fort Worth, TX 76102
 Tel: 817-487-6130 • www.bgeinc.com
 TBPE Registration No. F-1046
 Contact: Ross Mellon
 Tel: 817-487-6131
 Copyright 2023

GENERATION HOUSING PARTNERS
 Generation Housing Partners, LLC
 17440 North Dallas Parkway, Suite 120
 Dallas, Texas 75237

LANDSCAPE PLAN
THE HEIGHTS AT CROWLEY
 7500 CROWLEY ROAD
 TSPS CATEGORY 1A, CONDITION 2
 S.A.M. & G. RAILROAD CO. SURVEY, ABST. # 183
 7.21 ACRES
 CITY OF FORT WORTH
 TARRANT COUNTY, TEXAS

THESE PLANS ARE ISSUED FOR THE PURPOSE OF PRELIMINARY REVIEW AND ARE NOT INTENDED FOR CONSTRUCTION. WHEN ISSUED IN FINAL FORM THEY WILL BE SEALED, SIGNED AND DATED.

RESPONSIBLE LANDSCAPE ARCHITECT:
 CLINT MCQUEEN, PLA
 TEXAS REGISTRATION NO. 3879
 BGE, INC.
 TEXAS REGISTERED ENGINEERING FIRM F-1046
 JUNE 10, 2024

REV. NO.	DATE	DESCRIPTION

DRAWN BY: NPS
 CHECKED BY: CM
 DATE: 6/10/24
 PROJECT NUMBER: 11880-00
 Sheet No.



**Know what's below.
 Call before you dig.**
 (@ least 48 hours prior to digging)

L2.01
 LANDSCAPE PLAN

01 CLUBHOUSE FIRST FLOOR FINISH PLAN
1/8" = 1'-0"

BUILDING PLAN GENERAL NOTES

1. DETAILS ON THIS SHEET ARE TYPICAL UNLESS NOTED OTHERWISE.
2. REFER TO SHEET A206 FOR FLASHING AND WATERPROOFING NOTES, DIMENSIONS AND DETAILS.
3. SOME TOLERANCES BETWEEN MATERIALS ARE SHOWN ENLARGED FOR CLARITY.
4. SLOPE ALL FINISHED SURFACES OF PATIOS 1/8 INCH PER FOOT MAX TO DRAIN UNLESS OTHERWISE NOTED.
5. REFER TO ENLARGED PLANS FOR ADDITIONAL NOTES AND DIMENSIONS.
6. ALL EXTERIOR INTERIOR BEARINGS, AND SEPERATION WALLS TO BE 1 HOUR RATED UNLESS OTHERWISE NOTED.
7. REFER TO CIVIL ENGINEERS DRAWINGS FOR SLAB ELEVATIONS.
8. REFER TO ELEVATIONSHIP PLANS FOR EXTERIOR LIGHT LOCATIONS.
9. REFER TO STRUCTURAL ENGINEERS DRAWINGS FOR SHEAR WALL LOCATIONS.
10. REFER TO MEP PLANS FOR WATER SUPPLY TO SPRINKLER CLOSET.
11. SEE SHEET 01-04 FOR EXACT BLOCCING HEIGHT AND LOCATION.
12. REFER TO GLSS FOR ADA SINK HEIGHT GUIDELINES (SINK TYPE SPECIFIC).
13. ALL UNIT ENTRY DOORS TO HAVE A MINIMUM 18 INCH CLEARANCE ON THE PULL SIDE OF THE DOOR.
14. 18 INCH HOLE AT TOILET TO BE HELD FROM FINISH MATERIALS.
15. FIRE SPRINKLER PIPES CROSSING BREEZEWAYS TO BE INSULATED AS REQUIRED PER CODE.
16. FIRE SPRINKLER IN ATTIC TO BE TENTED AS REQUIRED PER FIRE MARSHAL CITY EVENTS.
17. DRYER EXHAUST VENTS TO BE LOCATED MINIMUM 36 INCHES AWAY FROM OPERABLE WINDOW OPENING.
18. FURROCKINGS AT BATHROOM FOR PANCAKE/CASSETTE TYPE HVAC UNITS TO BE OF NON-COMBUSTIBLE CONSTRUCTION MATERIALS AS REQUIRED PER CODE OR BE UNIT TYPE THAT DOES NOT REQUIRE NON-COMBUSTIBLE CONSTRUCTION.
19. CASER OPENINGS TO BE TRIMMED OUT TO MATCH DOORS.
20. ELECTRICAL OUTLETS AT BATHROOM IN ADA UNITS TO BE INSTALLED HORIZONTALLY IF REQUIRED FOR CLEARANCE AT MEDICINE CABINETS AS NEEDED.
21. BLOCCING TO BE PROVIDED ON WALLS/CABINETS FOR MOUNTING OF CONCEALED BRACKETS FOR COUNTERTOP SUPPORT.

- DW = DOWNSHOWER C.TILE = CERAMIC TILE LIN = LINEN
 VW = WASHER LVP = LAMINATED VINYL PLANK MR = MACHINE ROOM
 D = DRYER LVT = LAMINATED VINYL TILE JAN = JANITOR
 WH = WATER HEATER CTOP = COUNTERTOP TR = TRASH ROOM
 REF = REFRIGERATOR PAN = PANTRY POWR = POWDER ROOM
 WD = WOOD FLOOR FSC = FIRE SPRINKLER CLOSET STOR = STORAGE

WALL TYPES LEGENDS

UL #U302	1HR-INTERIOR PARTITION WALL	WF #S109	1HR-BREEZEWAY WALKOUT WALL
UL #U302	1HR-INTERIOR CORRIDOR WALL	UL #U305	1HR-EXTERIOR BRICK WALL
UL #U341	1HR-INTERIOR TENANT WALL	UL #U306	1HR-EXTERIOR HARD BOARD/PANEL WALL
UL #U311	1HR-INTERIOR WALL	UL #U308	1HR-EXTERIOR STONE VENEER WALL
UL #U320	2HR-STAIR WALL	UL #U406	1HR-EXTERIOR STUCCO WALL
UL #U321	2HR-STAIR WALL BRICK	UL #U423	1HR/2HR-INTERIOR METAL FRAMING WALL
WF #S322	2HR-STAIR/UNIT WALL	UL #U425	1HR/2HR-EXTERIOR METAL FRAMING WALL
UL #U326	2 HOUR FIREWALL (NOTED: 2 HOUR FIREWALL TO CONTINUE INTO ATTIC SPACE)	UL #R302	3HR-CMU BLOCK
2X6 WALL	BLOCCING	UL #P22	1HR-ROOF/CEILING
UL #L523	1HR-FLOOR/CEILING	FC #S513	1HR-FLOOR/CEILING
UL #L525	1HR-FLOOR/CEILING	FC #S521	1HR-FLOOR/CEILING
		FC #S521	1HR-FLOOR/CEILING

NOT ALL UL LISTED WILL BE USED REFER TO DETAIL DRAWINGS FOR UL WALL DETAILS REFER TO ELEVATIONS FOR TYPE OF EXTERIOR FINISH MATERIALS

SYMBOLS

SECTION TAG: SHEET NO. / SM
 DETAIL TAG: DETAIL NO. / AT
 INTERIOR ELEVATION TAG: SHEET NO. / REF
 BUILDING ELEVATION TAG: SHEET NO. / REF
 DOOR CALLOUT: ULL #U300
 KEYNOTE: T
 LVT: LVT
 TILE: TILE
 EQUIPMENT TAG: #
 REVISION TAG: #
 FLOOR: FLOOR
 SLOPE: SLOPE
 FURROCK-DOWN: FURROCK-DOWN
 HOADA: HOADA
 ELEVATION SYMBOL: ELEVATION SYMBOL
 ELEVATION STEP: ELEVATION STEP
 ELEVATION SLOPE: ELEVATION SLOPE
 RADON: RADON

FIRE EXTINGUISHER SHALL BE MINIMUM SIZE OF 10 LB-CLASS (A) PLACARD SHALL BE CONSPICUOUSLY PLACARD NEAR THE FIRE EXTINGUISHER THAT STATES THAT THE FIRE PROTECTION SYSTEM SHALL BE ACTIVATED PRIOR TO USING THE FIRE EXTINGUISHER
 FIRE EXTINGUISHER SHALL BE MINIMUM SIZE OF 2A10BC-CABINET BY LARSEN'S FLOORING/LARSEN-LOCK OR EQUAL, RATED 1 HR (1.0) CABINET MOUNTED AT 5' A.F.F., LOCATED PER PLAN OR 75% MAX.

HEIGHTS AT CROWLEY ROAD
 Fort Worth, TX

Architecture Planning Project Management
ARRIVE!
 ARCHITECTURE GROUP
 2344 Highway 121 - Suite 100 - Bedford, Texas 76021 - www.arriveag.com
 PH: 817.514.0584 - FX: 817.514.0594

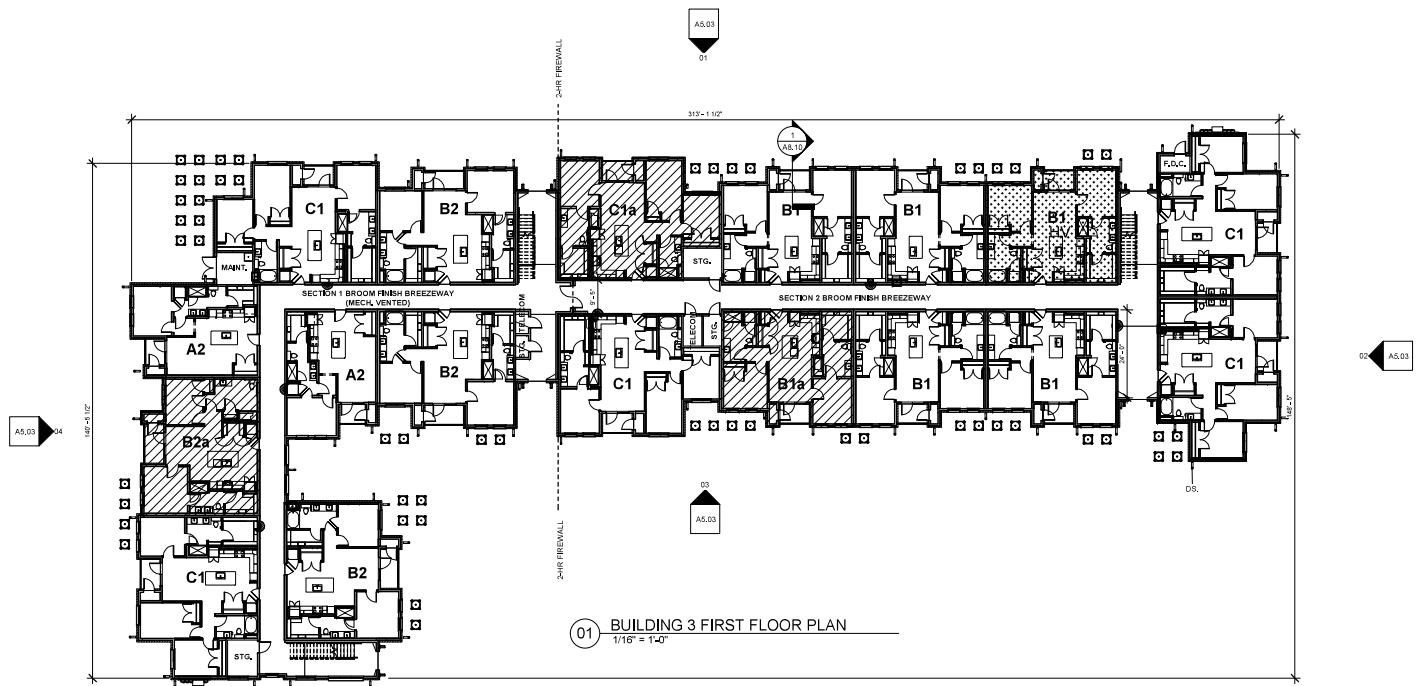


GHP - THE HEIGHTS AT CROWLEY APARTMENTS - CLUBHOUSE GROSS AREA			
Name	Area	GROSS	NET/GROSS
CLUBHOUSE GROSS AREA	8423 SF		
COM Check Roof Area	9597 SF		

A12.01 FIRST FLOOR FINISH PLAN

08/13/2024
 08/13/2024
 AAG JMT
 CD
 06/10/2024
 As Indicated
A12.0

01/20/2024 10:28:34 AM



01 BUILDING 3 FIRST FLOOR PLAN
1/16" = 1'-0"

BUILDING PLAN GENERAL NOTES

1. DETAILS ON THIS SHEET ARE TYPICAL UNLESS NOTED OTHERWISE.
2. REFER TO SHEET A5.03 FOR FLASHING AND WATERPROOFING NOTES, DIMENSIONS AND DETAILS.
3. SOME TOLERANCES BETWEEN MATERIAL ARE SHOWN ENLARGED FOR CLARITY.
4. SLOPE ALL FINISHED SURFACES OF PARTIDES 1/4 INCH PER FOOT MAX TO DRAIN UNLESS OTHERWISE NOTED.
5. REFER TO ENLARGED PLANS FOR ADDITIONAL NOTES AND DIMENSIONS.
6. ALL EXTERIOR INTERIOR BEARINGS, AND SEPERATION WALLS TO BE 1 HOUR RATED UNLESS OTHERWISE NOTED.
7. REFER TO CIVIL ENGINEERS DRAWINGS FOR SLAB ELEVATIONS.
8. REFER TO ELEVATIONS/MEP PLANS FOR EXTERIOR LIGHT LOCATIONS.
9. REFER TO STRUCTURAL ENGINEERS DRAWINGS FOR SHEAR WALL LOCATIONS.
10. REFER TO MEP PLANS FOR WATER SUPPLY TO SPRINKLER CLOSET.
11. SEE SHEET G1.04 FOR EXACT BLOCKING HEIGHT AND LOCATION.
12. REFER TO G1.05 FOR ADA SINK HEIGHT GUIDELINES (SINK TYPE SPECIFIC).
13. ALL UNIT ENTRY DOORS TO HAVE A MINIMUM 18 INCH CLEARANCE ON THE FULL SIDE OF THE DOOR.
14. 18 INCH HOLD AT TOILET TO BE HELD FROM FINISH MATERIALS.
15. FIRE SPRINKLER PIPES CROSSING BREEZEWAYS TO BE INSULATED AS REQUIRED PER CODE.
16. FIRE SPRINKLER IN ATTIC TO BE TENTED AS REQUIRED PER FIRE MARSHAL CITY REQUIREMENTS.
17. DRYER EXHAUST VENTS TO BE LOCATED MINIMUM 36 INCHES AWAY FROM OPERABLE WINDOW OPENING.
18. FURR-DOWNS AT BATHROOM FOR 'PANCAKE/CASSETTE' TYPE HVAC UNITS TO BE OF NON-COMBUSTIBLE CONSTRUCTION MATERIALS AS REQUIRED PER CODE OR BE UNIT TYPE THAT DOES NOT REQUIRE NON-COMBUSTIBLE CONSTRUCTION.
19. GASED OPENINGS TO BE TRIMMED OUT TO MATCH DOOR'S WALL LOCATIONS.
20. ELECTRICAL OUTLETS AT BATHROOMS IN ADA UNITS TO BE INSTALLED HORIZONTALLY IF REQUIRED FOR CLEARANCE AT MEDICINE CABINETS AS NEEDED.
21. BLOCKING TO BE PROVIDED ON WALLS/ CABINETS FOR MOUNTING OF CONCEALED BRACKETS FOR COUNTERTOP SUPPORT.

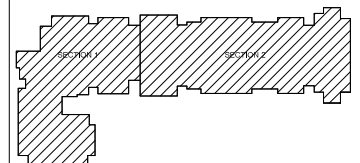
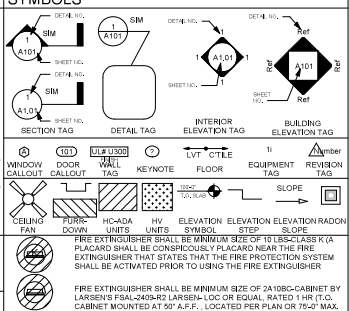
22. LIGHTING, PLUMBING, FIXTURES, APPLIANCES, AND MISCELLANEOUS HARDWARE ON PLANS FOR REFERENCE ONLY. REFER TO INTERIOR DESIGN SPECIFICATIONS AND OWNER APPROVED ITEMS PRIOR TO FINAL INSTALLATIONS.
 23. ALL DOORS TO BE 6 FEET AT UNITS WITH A PLATE HEIGHT OF 10 FEET OR TALLER. REFER TO BUILDING PLAN, ELEVATIONS, AND SECTIONS FOR BUILDING PLATE HEIGHTS.
 24. ALL WET WALLS TO BE 2 X 6 INCH FRAMED WALLS.
 25. CORRIDOR FLOOR JOINTS TO BE LOCATED AT EACH OFFSET JOINT SHOULD RUN STRAIGHT ACROSS ENTIRE CORRIDOR WIDTH.
 26. ALL GARAGE WALLS TO HAVE 8 INCH HIGH AND 6 INCH WIDE STEM WALL. REFER TO STRUCTURAL.
 27. WHERE THE 2 HOUR FIREWALL INTERSECTS THE EXTERIOR FACE OF THE BUILDING AT AN ANGLE LESS THAN 180 DEGREES, 4 LINEAR FEET IN EITHER DIRECTION MUST MEET UL ASSEMBLY FOR A 1 HOUR WALL EXPOSED TO FIRE ON BOTH SIDES. OPENINGS WITHIN THE 4 FOOT MUST BE 45 MINUTES FIRE RATED.
- DW = DRY-WASHER
 HW = WASHER
 DR = DRIVER
 WH = WATER HEATER
 REF = REFRIGERATOR
 WF = WOOD FLOOR
 CTLE = CERAMIC TILE
 LVP = LAMINATED VINYL PLANK
 LVT = LAMINATED VINYL TILE
 CTOP = COUNTERTOP PAN / PAINTRY
 FSC = FIRE SPRINKLER CLOSET
 LIN = LINEN
 MR = MACHINE ROOM
 JAN = JANITOR
 TR = TRASH ROOM
 PWDR = POWDER ROOM
 STOR = STORAGE

WALL TYPES LEGENDS

[Symbol]	UL #1302	1HR-INTERIOR PARTITION WALL	[Symbol]	LVP #8120	1HR-BREEZEWAY WALL/UNIT WALL
[Symbol]	UL #1302	1HR-INTERIOR CORRIDOR WALL	[Symbol]	UL #1356	1HR-EXTERIOR BRICK WALL
[Symbol]	UL #1341	1HR-INTERIOR TENANT WALL	[Symbol]	UL #1356	1HR-EXTERIOR BRICK SHINGLED WALL
[Symbol]	UL #1301	1HR-INTERIOR WALL	[Symbol]	UL #1356	1HR-EXTERIOR STONE VENEER WALL
[Symbol]	UL #1301	2HR-STAIR WALL	[Symbol]	UL #1455	1HR-EXTERIOR STUCCO WALL
[Symbol]	UL #1301	2HR-STAIR WALL BREAK	[Symbol]	UL #1421	1HR/2HR-INTERIOR METAL FRAMING WALL
[Symbol]	LVP #8120	2HR-STAIR/UNIT WALL	[Symbol]	UL #1425	1HR/2HR-EXTERIOR METAL FRAMING WALL
[Symbol]	UL #1302	2 HOUR FIREWALL (NOTE: 2 HOUR FIREWALL TO CONTINUE INTO ATTIC SPACE ABOVE PORCH. DO NOT PENETRATE)	[Symbol]	UL #1305	2HR-CMU BLOCK
[Symbol]	2X8 WALL	BLOCKING	[Symbol]	UL #5122	1HR-ROOF/CEILING
[Symbol]	UL #1523	FC #5115	UL #1521	FC #5115	2HR-FLOOR/CEILING
[Symbol]	UL #1522	FC #5115	FC #5496	FC #5496	1HR-FLOOR/CEILING

NOT ALL ULs LISTED WILL BE USED REFER TO DETAIL DRAWINGS FOR UL WALL DETAILS REFER TO ELEVATIONS FOR TYPE OF EXTERIOR FINISH MATERIALS

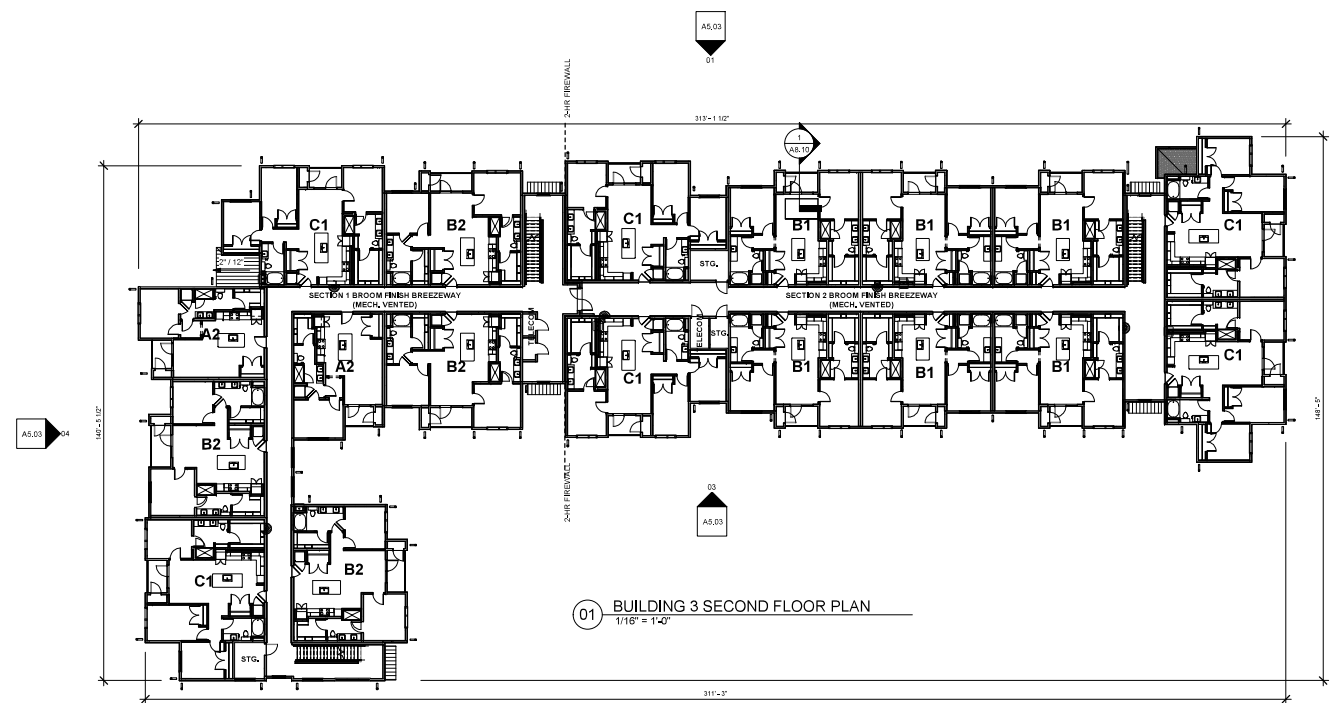
SYMBOLS



A1.31 BUILDING 3 FIRST FLOOR PLAN



01/20/24 10:23 AM



01 BUILDING 3 SECOND FLOOR PLAN
1/16" = 1'-0"

BUILDING PLAN GENERAL NOTES

1. DETAILS ON THIS SHEET ARE TYPICAL UNLESS NOTED OTHERWISE.
2. REFER TO SHEET A5.03 FOR FLASHING AND WATERPROOFING NOTES, DIMENSIONS AND DETAILS.
3. SOME TOLERANCES BETWEEN MATERIAL ARE SHOWN ENLARGED FOR CLARITY.
4. SLOPE ALL FINISHED SURFACES OF PARTIDES 1/4 INCH PER FOOT MAX TO DRAIN UNLESS OTHERWISE NOTED.
5. REFER TO ENLARGED PLANS FOR ADDITIONAL NOTES AND DIMENSIONS.
6. ALL EXTERIOR INTERIOR BEARINGS, AND SEPERATION WALLS TO BE 1 HOUR RATED UNLESS OTHERWISE NOTED.
7. REFER TO CIVIL ENGINEERS DRAWINGS FOR SLAB ELEVATIONS.
8. REFER TO ELEVATIONS/MEP PLANS FOR EXTERIOR LIGHT LOCATIONS.
9. REFER TO STRUCTURAL ENGINEERS DRAWINGS FOR SHEAR WALL LOCATIONS.
10. REFER TO MEP PLANS FOR WATER SUPPLY TO SPRINKLER CLOSE.
11. SEE SHEET G1.04 FOR EXACT BLOCKING HEIGHT AND LOCATION.
12. REFER TO G1.05 FOR ADA SINK HEIGHT GUIDELINES (SINK TYPE SPECIFIC).
13. ALL UNIT ENTRY DOORS TO HAVE A MINIMUM 18 INCH CLEARANCE ON THE FULL SIDE OF THE DOOR.
14. 18 INCH HOLD AT TOILET TO BE HELD FROM FINISH MATERIALS.
15. FIRE SPRINKLER PIPES CROSSING BREEZEWAYS TO BE INSULATED AS REQUIRED PER CODE.
16. FIRE SPRINKLER IN ATTIC TO BE TENDED AS REQUIRED PER FIRE MARSHAL CITY REQUIREMENTS.
17. DRYER EXHAUST VENTS TO BE LOCATED MINIMUM 36 INCHES AWAY FROM OPERABLE WINDOW OPENING.
18. FURR-DOWNS AT BATHROOM FOR 'PANCAKE/CASSETTE' TYPE HVAC UNITS TO BE OF NON-COMBUSTIBLE CONSTRUCTION MATERIALS AS REQUIRED PER CODE OR BE UNIT TYPE THAT DOES NOT REQUIRE NON-COMBUSTIBLE CONSTRUCTION.
19. CASED OPENINGS TO BE TRIMMED OUT TO MATCH DOORS.
20. ELECTRICAL OUTLETS AT BATHROOMS IN ADA UNITS TO BE INSTALLED HORIZONTALLY IF REQUIRED FOR CLEARANCE AT MEDICINE CABINETS AS NEEDED.
21. BLOCKING TO BE PROVIDED ON WALLS/ CABINETS FOR MOUNTING OF CONCEALED BRACKETS FOR COUNTERTOP SUPPORT.

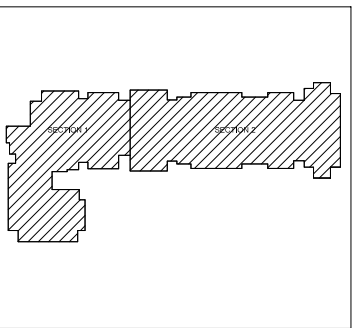
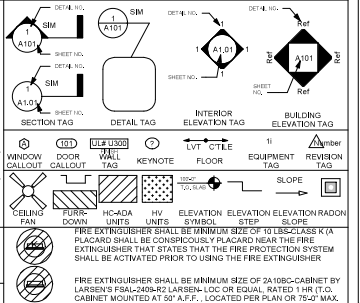
22. LIGHTING, PLUMBING, FIXTURES, APPLIANCES, AND MISCELLANEOUS HARDWARE ON PLANS FOR REFERENCE ONLY. REFER TO INTERIOR DESIGN SPECIFICATIONS AND OWNER APPROVED ITEMS PRIOR TO FINAL INSTALLATIONS.
23. ALL DOORS TO BE 6 FEET AT UNITS WITH A PLATE HEIGHT OF 10 FEET OR TALLER. REFER TO BUILDING PLAN, ELEVATIONS, AND SECTIONS FOR BUILDING PLATE HEIGHTS.
24. ALL WET WALLS TO BE 2 X 6 INCH FRAMED WALLS.
25. CORRIDOR FLOOR JOINTS TO BE LOCATED AT EACH OFFSET JOINT SHOULD RUN STRAIGHT ACROSS ENTIRE CORRIDOR WIDTH.
26. ALL GARAGE WALLS TO HAVE 6 INCH HIGH AND 6 INCH WIDE STEM WALL. REFER TO STRUCTURAL.
27. WHERE THE 2 HOUR FIREWALL INTERSECTS THE EXTERIOR FACE OF THE BUILDING AT AN ANGLE LESS THAN 180 DEGREES, 4 LINEAR FEET IN EITHER DIRECTION MUST MEET UL ASSEMBLY FOR A 1 HOUR WALL EXPOSED TO FIRE ON BOTH SIDES. OPENINGS WITHIN THE 4 FOOT MUST BE 45 MINUTES FIRE RATED.

WALL TYPES LEGENDS

UL #1302	1HR-INTERIOR PARTITION WALL	UL #1025	1HR-BREEZEWAY WALL/UNIT WALL
UL #1302	1HR-INTERIOR CORRIDOR WALL	UL #1356	1HR-EXTERIOR BRICK WALL
UL #1304	1HR-INTERIOR TENANT WALL	UL #1356	1HR-EXTERIOR BRICK STONE/PANEL WALL
UL #1301	1HR-INTERIOR WALL	UL #1356	1HR-EXTERIOR STONE VENEER WALL
UL #1301	2HR-STAIR WALL	UL #1450	1HR-EXTERIOR STUCCO WALL
UL #1301	2HR-STAIR WALL	UL #1423	1HR/2HR-INTERIOR METAL FRAMING WALL
UL #1301	2HR-STAIR/WALL	UL #1425	1HR/2HR-EXTERIOR METAL FRAMING WALL
UL #1302	2HR-FLOOR/CILING	UL #1305	2HR-CMU BLOCK
UL #1302	2HR-FLOOR/CILING	UL #1305	2HR-FLOOR/CILING
UL #1302	2HR-FLOOR/CILING	UL #1305	2HR-FLOOR/CILING

NOT ALL ULs LISTED WILL BE USED REFER TO DETAIL DRAWINGS FOR UL WALL DETAILS REFER TO ELEVATIONS FOR TYPE OF EXTERIOR FINISH MATERIALS

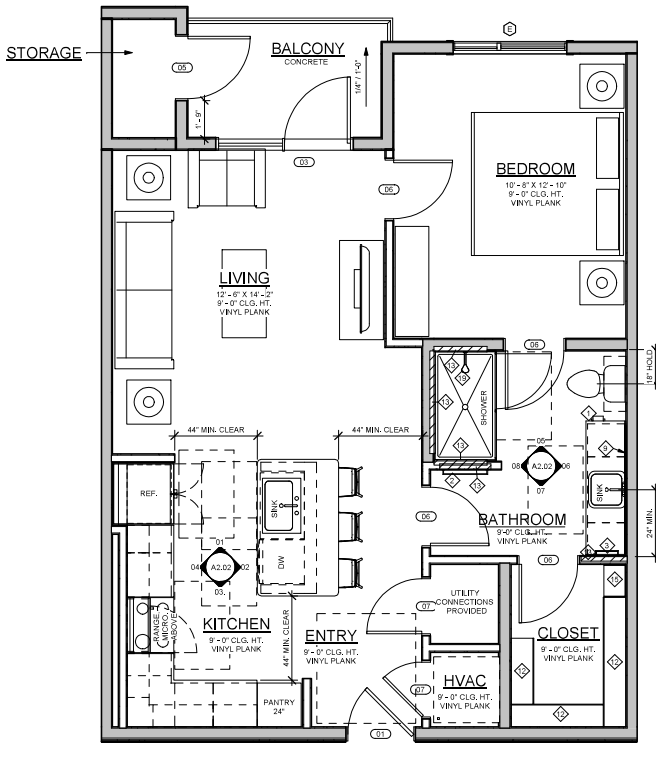
SYMBOLS



A1.32 BUILDING 3 SECOND FLOOR PLAN

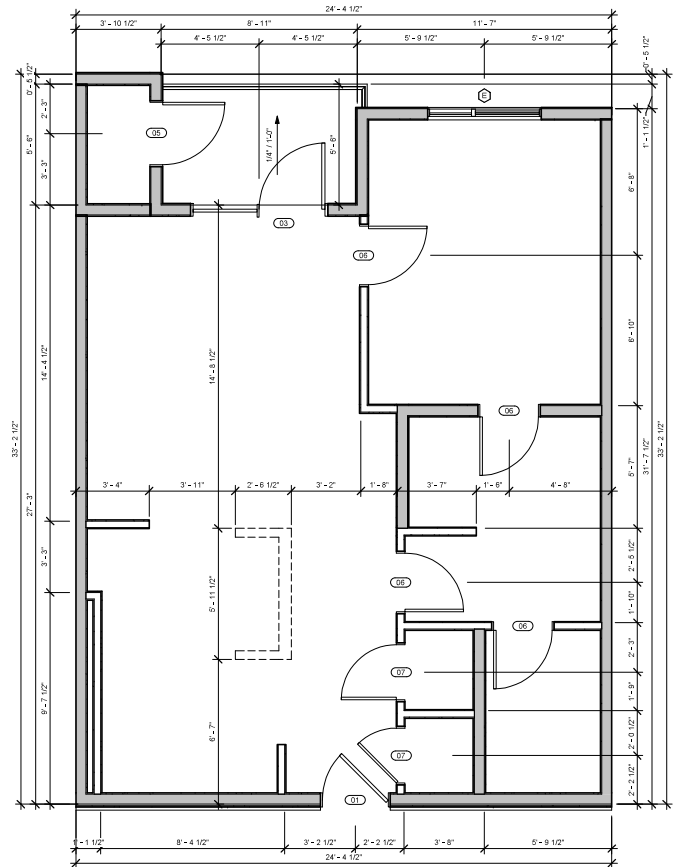


DATE	06/10/2024
BY	JMT
CHECKED	AAG
DATE	06/10/2024
BY	JMT
CHECKED	AAG



01 UNIT A1 - FINISH FLOOR PLAN
3/8" = 1'-0"

UNIT A1	715 SF
UNIT AT PATIO/BALCONY	73 SF
TOTAL UNIT SQUARE FOOTAGE:	788 SF



02 UNIT A1 - DIMENSION CONTROL PLAN
3/8" = 1'-0"

EQUIPMENT LEGEND AND NOTES

- 1. TOILET PAPER HOLDER MOUNTED AT 15" MIN. A.F.F.
- 2. 24" TOWEL BAR - MOUNTED TOP AT 44" - 48" A.F.F.
- 3. 12" TOWEL BAR - MOUNTED TOP AT 44" - 48" A.F.F.
- 4. SHOWER CURTAIN ROD MOUNTED AT 74" A.F.F.
- 5. 24" CONCEALED MOUNTED GRAB BAR MOUNTED BETWEEN 30" - 38" MAX. A.F.F.
- 6. 42" CONCEALED MOUNTED GRAB BAR MOUNTED CENTER BETWEEN 33" - 36" MAX. A.F.F.
- 7. 36" TEMPERED GLASS MIRROR TYP. REF. TO I.D. FOR SPEC. MOUNT BOTTOM OF REFLECTING EDGE @ 38" A.F.F. - SEE BATHROOM INT. ELEV. VF.
- 8. FLUSH MOUNTED MEDICINE CABINET W/ BTM WOOD DOOR MOUNTED @ 40" A.F.F.
- 9. TYPICAL ROD AND SHELF MOUNTED AT 72" A.F.F. 1/8" A.F.F. AT A.D.A. UNITS) WITH WOOD OR WIRE SHELF.
- 10. TYPICAL 2 RODS AND SHELF MOUNTED @ 84" A.F.F. AND @ 42" WITH SHELF.
- 11. TYPICAL LOCATION OF BLOCKING FOR GRAB BARS SEE SHEET G104 FOR EXACT HEIGHT AND LOCATION.
- 12. PAINTED WOOD OR WIRE SHELVES @ 12" STARTING BOTTOM SHELF @ 36" A.F.F. AND TOP SHELF @ 74", REF. TO UNIT ELEVATIONS.
- 13. PAINTED WOOD OR WIRE SHELVES WITH 12" SPRING STARTING BOTTOM SHELF @ 140" A.F.F. AND TOP SHELF AT 74" A.F.F.
- 14. GLASS SHOWER DOOR MIN 30" MAX 74" W/ GLASS ENCLOSURE TYP. 74"
- 15. TYP. SHELF MOUNTED @ 66" ADA A.F.F. ABOVE WASHER REF. TO UNIT ELEVATIONS.
- 16. TYPICAL ROD AND SHELF LOCATED AT 48" & 54" MAX. A.F.F. TYP. (36" A.F.F. @ A.D.A. UNITS)
- 17. SHOWER HEAD TO BE MOUNTED AT 74" A.F.F. 66" @ TYPICAL ADA UNITS. ADA UNITS TO BE EQUIPPED WITH ADJUSTABLE WAND.
- 18. TOWEL RING/HOOK - MOUNTED TOP AT 48" A.F.F.
- 19. TYPICAL 18" GRAB BAR MOUNTED VERTICALLY BOTTOM OF GRAB BAR TO BE MOUNTED 41" A.F.F.
- 20. SHAMPOO NICHE W/ BOTTOM OF LEDGE MOUNTED 6"-2" ABOVE TUB. 4" ABOVE SHOWER PAN W/ ADDITIONAL WATERPROOFING @ WALL CORNER & PENETRATIONS.
- 21. TWO GLASS SHELVES ABOVE KITCHEN SINK MOUNTED AT 57" & 68"
- 22. 18" TOWEL BAR - MOUNTED TOP AT 44"-48" A.F.F.
- 23. VERTICAL BLOCKING ADJACENT TO SHOWER
- 24. 32" CONCEALED MOUNTED GRAB BAR MOUNTED 33" - 36" MAX. 6" FROM ADJ. WALLS. TYP. ADA UNITS
- 25. WALL MOUNTED EXHAUST FAN, REF. MEP & ELEVATIONS FOR LOCATIONS. COORDINATE W/ PLUMBING & WALL CONDITIONS. SEE SHEET G104 FOR ADDITIONAL INFORMATION.

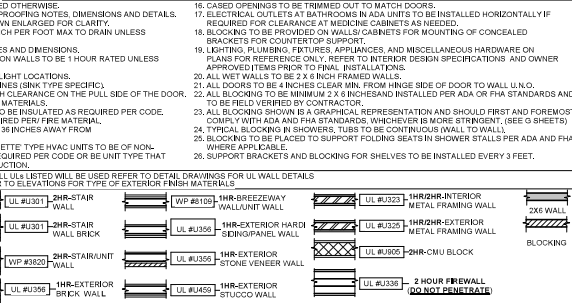
UNIT PLAN GENERAL NOTE

- 1. DETAILS ON THIS SHEET ARE TYPICAL UNLESS NOTED OTHERWISE.
- 2. REFER TO SHEET A206 FOR FLASHING AND WATERPROOFING NOTES, DIMENSIONS AND DETAILS.
- 3. SOME TOLERANCES BETWEEN MATERIALS ARE SHOWN ENLARGED FOR CLARITY.
- 4. SLOPE ALL FINISHED SURFACES OF PARTICES 1/4 INCH PER FOOT MAX TO DRAIN UNLESS OTHERWISE NOTED.
- 5. REFER TO ENLARGED PLANS FOR ADDITIONAL NOTES AND DIMENSIONS.
- 6. ALL EXTERIOR INTERIOR BEARINGS, AND SEPARATION WALLS TO BE 1 HOUR RATED UNLESS OTHERWISE NOTED.
- 7. REFER TO ELEVATIONS/MEP PLANS FOR EXTERIOR LIGHT LOCATIONS.
- 8. REFER TO 05 SHEETS FOR ADA SINK HEIGHT GUIDELINES (SINK TYPE SPECIFIC).
- 9. ALL UNIT ENTRY DOORS TO HAVE A MINIMUM 18 INCH CLEARANCE ON THE PULL SIDE OF THE DOOR.
- 10. 6 INCH HOLD AT TOILET TO BE HELD FROM FINISH MATERIALS.
- 11. FIRE SPRINKLER PIPES CROSSING BREEZEWAYS TO BE INSULATED AS REQUIRED PER CODE.
- 12. FIRE SPRINKLER IN ATTIC TO BE INSTALLED AS REQUIRED PER FIRE MATERIALS.
- 13. DRYER EXHAUST VENTS TO BE LOCATED MINIMUM 36 INCHES AWAY FROM PERMEABLE WINDOW OPENINGS.
- 14. FURF-DOWNS AT BATHROOM FOR PANCAKE/CASSETTE TYPE HVAC UNITS TO BE OF NON-COMBUSTIBLE CONSTRUCTION MATERIALS AS REQUIRED PER CODE OR BE UNIT TYPE THAT DOES NOT REQUIRE NON-COMBUSTIBLE CONSTRUCTION.
- 15. FURF-DOWNS AT BATHROOM FOR PANCAKE/CASSETTE TYPE HVAC UNITS TO BE OF NON-COMBUSTIBLE CONSTRUCTION MATERIALS AS REQUIRED PER CODE OR BE UNIT TYPE THAT DOES NOT REQUIRE NON-COMBUSTIBLE CONSTRUCTION.
- 16. CASSED OPENINGS TO BE TRIMMED OUT TO MATCH DOORS.
- 17. ELECTRICAL OUTLETS AT BATHROOMS IN ADA UNITS TO BE INSTALLED HORIZONTALLY IF REQUIRED FOR CLEARANCE AT MEDICINE CABINETS AS NEEDED.
- 18. BLOCKING TO BE PROVIDED ON WALLS/CABINETS FOR MOUNTING OF CONCEALED BRACKETS FOR COUNTERTOP SUPPORT.
- 19. LIGHTING, PLUMBING, FIXTURES, APPLIANCES, AND MISCELLANEOUS HARDWARE ON PLANS FOR REFERENCE ONLY. REFER TO INTERIOR DESIGN SPECIFICATIONS AND OWNER APPROVED ITEMS PRIOR TO FINAL INSTALLATIONS.
- 20. ALL WET WALLS TO BE 2 X 8 INCH FRAMED WALLS.
- 21. ALL DOORS TO BE 4 INCHES CLEAR MIN. FROM HINGE SIDE OF DOOR OR FHA STANDARDS AND TO BE FIELD VERIFIED BY CONTRACTOR.
- 22. ALL BLOCKING TO BE MINIMUM 2 X 8 INCHES AND INSTALLED PER ADA OR FHA STANDARDS AND TO BE FIELD VERIFIED BY CONTRACTOR.
- 23. ALL BLOCKING SHOWN IS A GRAPHICAL REPRESENTATION AND SHOULD FIRST AND FOREMOST CORRELATE WITH ADA AND FHA STANDARDS, WHICHEVER IS MORE STRINGENT. (SEE 05 SHEETS)
- 24. TYPICAL BLOCKING IN SHOWERS, TUBS TO BE CONTINUOUS (WALL TO WALL) WHERE APPLICABLE.
- 25. BLOCKING TO BE PLACED TO SUPPORT FOLDING SEATS IN SHOWER STALLS PER ADA AND FHA STANDARDS.
- 26. SUPPORT BRACKETS AND BLOCKING FOR SHELVES TO BE INSTALLED EVERY 3 FEET.

WALL TYPES LEGENDS

[UL #J000] 1HR-INTERIOR PARTITION WALL	[UL #J301] 2HR-STAIR WALL	[UL #J323] 1HR/2HR-INTERIOR METAL FRAMING WALL
[UL #J001] 1HR-INTERIOR CORRIDOR WALL	[UL #J302] 2HR-STAIR WALL BREAK	[UL #J324] 1HR/2HR-EXTERIOR METAL FRAMING WALL
[UL #J041] 1HR-INTERIOR TENANT WALL	[W/P #3020] 2HR-STAIR/RAINT WALL	[UL #J352] 1HR-EXTERIOR STONE VENEER WALL
[UL #J011] 1HR-INTERIOR WALL	[UL #J356] 1HR-EXTERIOR BRICK WALL	[UL #J450] 1HR-EXTERIOR STUCCO WALL
[W/P #8100] 1HR-BREEZEWAY WALL/UNIT WALL	[UL #J325] 1HR/2HR-INTERIOR METAL FRAMING WALL	[UL #J326] 1HR/2HR-EXTERIOR METAL FRAMING WALL
[UL #J350] 1HR-EXTERIOR HARD 2" SING/PANEL WALL	[UL #J360] 2HR-CMU BLOCK	[UL #J380] 2 HOUR FIRE WALL (DO NOT PENETRATE)

SYMBOLS



NOT ALL U/L LISTED WILL BE USED REFER TO DETAIL DRAWINGS FOR U/W WALL DETAILS REFER TO ELEVATIONS FOR TYPE OF EXTERIOR FINISH MATERIALS

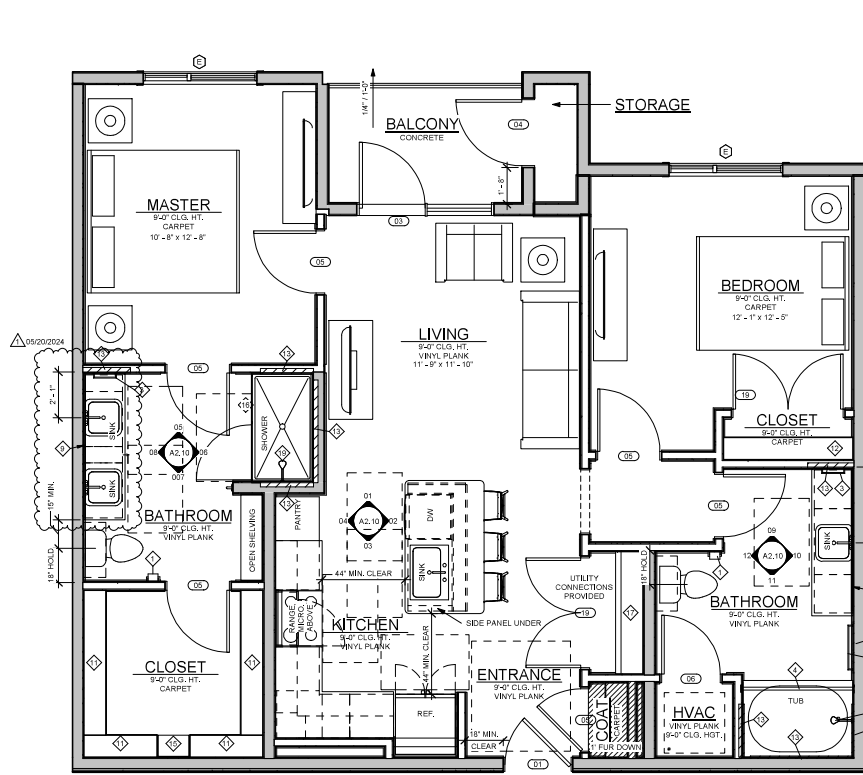
[UL #J000] WINDOW	[UL #J001] DOOR	[UL #J002] CALLOUT	[UL #J003] KEYNOTE	[UL #J004] FLOOR	[UL #J005] EQUIPMENT	[UL #J006] REVISION	[UL #J007] SLOPE
[UL #J008] DW	[UL #J009] W	[UL #J010] WH	[UL #J011] REF	[UL #J012] C.TILE	[UL #J013] LVP	[UL #J014] LVT	[UL #J015] LAMINATED VINYL TILE
[UL #J016] CTOP	[UL #J017] PAN + PAINTY	[UL #J018] FSC	[UL #J019] LIN	[UL #J020] MIR	[UL #J021] JAN	[UL #J022] TR	[UL #J023] POWDR
[UL #J024] STOR	[UL #J025] DW	[UL #J026] W	[UL #J027] WH	[UL #J028] REF	[UL #J029] C.TILE	[UL #J030] LVP	[UL #J031] LVT

HEIGHTS AT CROWLEY ROAD
Fort Worth, TX

ARRIVE! ARCHITECTURE GROUP
Architecture Planning Project Management
2344 Highway 121 - Suite 100 - Bedford, Texas 76021 - www.arriveag.com
PH: 817.514.0584 - FX: 817.514.0594

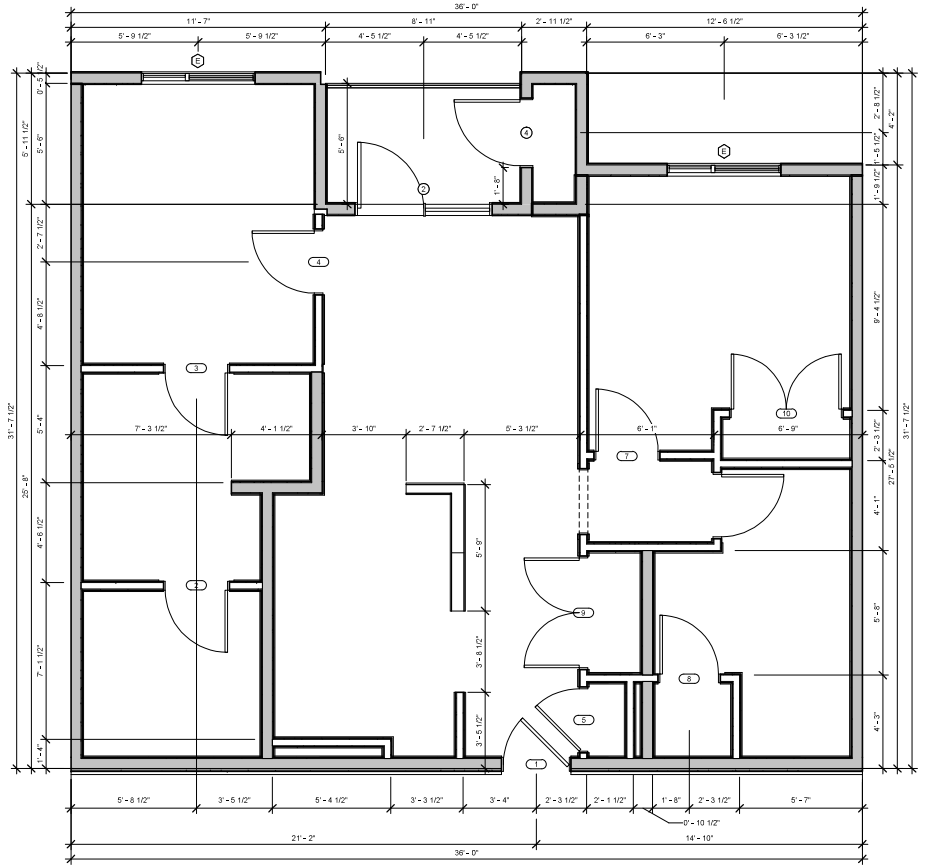


DATE: 06/10/2024	SHEET NO. A2.01
AS NOTED	JMT



01 UNIT B1 FINISH FLOOR PLAN
3/8" = 1'-0"

UNIT B1	1016 SF	GROSS
UNIT B1 PATIO/BALCONY	16 SF	GROSS
TOTAL GROSS SQUARE FOOTAGE OF UNIT:	1032 SF	



02 UNIT B-1 DIMENSION CONTROL PLAN
3/8" = 1'-0"

EQUIPMENT LEGEND AND NOTES

- TOILET PAPER HOLDER MOUNTED AT 15" MIN. A.F.F.
- 24" TOWEL BAR - MOUNTED TOP AT 44" - 48" A.F.F.
- 12" TOWEL BAR - MOUNTED TOP AT 44" - 48" A.F.F.
- SHOWER CURTAIN ROD MOUNTED AT 74" A.F.F.
- 24" CONCEALED MOUNTED GRAB BAR MOUNTED BETWEEN 33" - 38" MAX. A.F.F.
- 42" CONCEALED MOUNTED GRAB BAR MOUNTED CENTER BETWEEN 33" - 38" MAX. A.F.F.
- 316L TEMPERED GLASS MIRROR TYP. REF. TO L.D. FOR SPEC. MOUNT BOTTOM OF REFLECTING EDGE @ 38" A.F.F. SEE BATHROOM INT. ELEV. VIF.
- TYPICAL MOUNTED MEDICINE CABINET W/ BTM WOOD DOOR MOUNTED @ 40" A.F.F.
- TYPICAL 18" GRAB BAR MOUNTED VERTICALLY BOTTOM OF GRAB BAR TO BE MOUNTED 41" A.F.F.
- SHAMPOO NICHE W/ BOTTOM OF LEDGE MOUNTED 8'-2" ABOVE TUB, 4'-0" ABOVE SHOWER PAN W/ ADDITIONAL WATERPROOFING @ WALL CORNER & PENETRATIONS.
- TWO GLASS SHELVES ABOVE KITCHEN SINK MOUNTED AT 57" & 68"
- 18" TOWEL BAR - MOUNTED TOP AT 44"-48" A.F.F.
- VERTICAL BLOCKING ADJACENT TO SHOWER
- 32" CONCEALED MOUNTED GRAB BAR MOUNTED 33", 35", MAX. 6" FROM ADJ. WALLS. TYP. ADA UNITS
- WALL MOUNTED EXHAUST FAN, REF. MEP & ELEVATIONS FOR LOCATIONS, COORDINATE W/ PLUMBING & WALL CONDITIONS. SEE SHEET G104 FOR ADDITIONAL INFORMATION.
- NOTE: SHOWER HEAD TO BE MOUNTED AT 74" A.F.F. 6'-2" AT TYPICAL ADA UNITS. ADA UNITS TO BE EQUIPPED WITH ADJUSTABLE WAND.

UNIT PLAN GENERAL NOTE

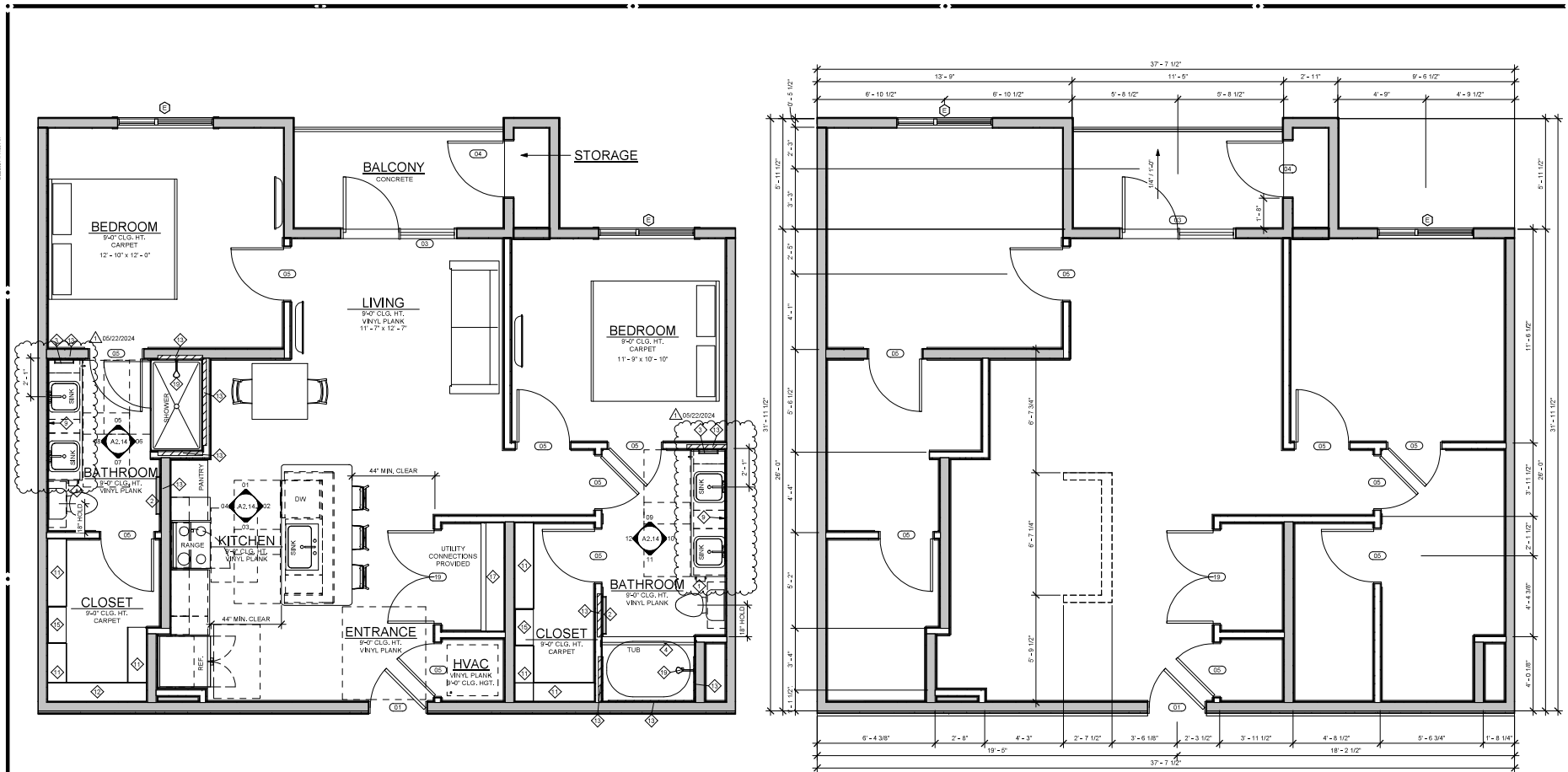
- DETAILS ON THIS SHEET ARE TYPICAL UNLESS NOTED OTHERWISE.
- REFER TO SHEET A206 FOR FLASHING AND WATERPROOFING NOTES, DIMENSIONS AND DETAILS.
- SOME TOLERANCES BETWEEN MATERIALS ARE SHOWN ENLARGED FOR CLARITY.
- SLOPE ALL FINISHED SURFACES OF PARTITIONS 1/4 INCH PER FOOT MAX TO DRAIN UNLESS OTHERWISE NOTED.
- REFER TO ENLARGED PLANS FOR ADDITIONAL NOTES AND DIMENSIONS.
- OTHERWISE NOTED.
- REFER TO ELEVATIONS/MEP PLANS FOR EXTERIOR LIGHT LOCATIONS.
- REFER TO 2 SHEETS FOR ADA SINK HEIGHT GUIDELINES (SINK TYPE SPECIFIC).
- ALL UNIT ENTRY DOORS TO HAVE A MINIMUM 18 INCH CLEARANCE ON THE PULL SIDE OF THE DOOR.
10. 18 INCH HOLD AT TOILET TO BE HELD FROM FINISH MATERIALS.
- FIRE SPRINKLER PIPES CROSSING BREEZEVAYS TO BE INSULATED AS REQUIRED PER CODE.
- DRYER EXHAUST VENTS TO BE LOCATED MINIMUM 36 INCHES AWAY FROM PERMEABLE WINDOW OPENINGS.
- FUR-DOWNS AT BATHROOM FOR PANCAKE/CASSETTE TYPE HVAC UNITS TO BE OF NON-COMBUSTIBLE CONSTRUCTION MATERIALS AS REQUIRED PER CODE OR BE UNIT TYPE THAT DOES NOT REQUIRE NON-COMBUSTIBLE CONSTRUCTION.
- CASED OPENINGS TO BE TRIMMED OUT TO MATCH DOORS.
- ELECTRICAL OUTLETS AT BATHROOMS IN ADA UNITS TO BE INSTALLED HORIZONTALLY IF REQUIRED FOR CLEARANCE AT MEDICINE CABINETS AS NEEDED.
- BLOCKING TO BE PROVIDED ON WALLS/CABINETS FOR MOUNTING OF CONCEALED BRACKETS FOR COUNTERTOP SUPPORT.
- LIGHTING, PLUMBING, FIXTURES, APPLIANCES, AND MISCELLANEOUS HARDWARE ON PLANS FOR REFERENCE ONLY. REFER TO INTERIOR DESIGN SPECIFICATIONS AND OWNER APPROVED ITEMS PRIOR TO FINAL INSTALLATIONS.
- ALL WET WALLS TO BE 2 X 8 INCH FRAMED WALLS.
- ALL DOORS TO BE 4 INCHES CLEAR MIN. FROM HINGE SIDE OF DOOR TO WALL U.N.O.
- ALL BLOCKING TO BE MINIMUM 2 X 8 INCHES AND INSTALLED PER ADA OR FHA STANDARDS AND TO BE FIELD VERIFIED BY CONTRACTOR.
- TYPICAL BLOCKING IN SHOWERS, TUBS TO BE CONTINUOUS (WALL TO WALL).
- BLOCKING TO BE PLACED TO SUPPORT FOLDING SEATS IN SHOWER STALLS PER ADA AND FHA WHERE APPLICABLE.
- SUPPORT BRACKETS AND BLOCKING FOR BRACKETS TO BE INSTALLED EVERY 3 FEET.

WALL TYPES LEGENDS

[UL #J000] 1HR-INTERIOR PARTITION WALL	[UL #J001] 1HR-INTERIOR CORRIDOR WALL	[UL #J002] 1HR-INTERIOR TENANT WALL	[UL #J003] 1HR-INTERIOR PARTITION WALL	[UL #J004] 1HR-INTERIOR PARTITION WALL	[UL #J005] 1HR-INTERIOR PARTITION WALL	[UL #J006] 1HR-INTERIOR PARTITION WALL	[UL #J007] 1HR-INTERIOR PARTITION WALL	[UL #J008] 1HR-INTERIOR PARTITION WALL	[UL #J009] 1HR-INTERIOR PARTITION WALL	[UL #J010] 1HR-INTERIOR PARTITION WALL	[UL #J011] 1HR-INTERIOR PARTITION WALL	[UL #J012] 1HR-INTERIOR PARTITION WALL	[UL #J013] 1HR-INTERIOR PARTITION WALL	[UL #J014] 1HR-INTERIOR PARTITION WALL	[UL #J015] 1HR-INTERIOR PARTITION WALL	[UL #J016] 1HR-INTERIOR PARTITION WALL	[UL #J017] 1HR-INTERIOR PARTITION WALL	[UL #J018] 1HR-INTERIOR PARTITION WALL	[UL #J019] 1HR-INTERIOR PARTITION WALL	[UL #J020] 1HR-INTERIOR PARTITION WALL	[UL #J021] 1HR-INTERIOR PARTITION WALL	[UL #J022] 1HR-INTERIOR PARTITION WALL	[UL #J023] 1HR-INTERIOR PARTITION WALL	[UL #J024] 1HR-INTERIOR PARTITION WALL	[UL #J025] 1HR-INTERIOR PARTITION WALL	[UL #J026] 1HR-INTERIOR PARTITION WALL	[UL #J027] 1HR-INTERIOR PARTITION WALL	[UL #J028] 1HR-INTERIOR PARTITION WALL	[UL #J029] 1HR-INTERIOR PARTITION WALL	[UL #J030] 1HR-INTERIOR PARTITION WALL	[UL #J031] 1HR-INTERIOR PARTITION WALL	[UL #J032] 1HR-INTERIOR PARTITION WALL	[UL #J033] 1HR-INTERIOR PARTITION WALL	[UL #J034] 1HR-INTERIOR PARTITION WALL	[UL #J035] 1HR-INTERIOR PARTITION WALL	[UL #J036] 1HR-INTERIOR PARTITION WALL	[UL #J037] 1HR-INTERIOR PARTITION WALL	[UL #J038] 1HR-INTERIOR PARTITION WALL	[UL #J039] 1HR-INTERIOR PARTITION WALL	[UL #J040] 1HR-INTERIOR PARTITION WALL	[UL #J041] 1HR-INTERIOR PARTITION WALL	[UL #J042] 1HR-INTERIOR PARTITION WALL	[UL #J043] 1HR-INTERIOR PARTITION WALL	[UL #J044] 1HR-INTERIOR PARTITION WALL	[UL #J045] 1HR-INTERIOR PARTITION WALL	[UL #J046] 1HR-INTERIOR PARTITION WALL	[UL #J047] 1HR-INTERIOR PARTITION WALL	[UL #J048] 1HR-INTERIOR PARTITION WALL	[UL #J049] 1HR-INTERIOR PARTITION WALL	[UL #J050] 1HR-INTERIOR PARTITION WALL	[UL #J051] 1HR-INTERIOR PARTITION WALL	[UL #J052] 1HR-INTERIOR PARTITION WALL	[UL #J053] 1HR-INTERIOR PARTITION WALL	[UL #J054] 1HR-INTERIOR PARTITION WALL	[UL #J055] 1HR-INTERIOR PARTITION WALL	[UL #J056] 1HR-INTERIOR PARTITION WALL	[UL #J057] 1HR-INTERIOR PARTITION WALL	[UL #J058] 1HR-INTERIOR PARTITION WALL	[UL #J059] 1HR-INTERIOR PARTITION WALL	[UL #J060] 1HR-INTERIOR PARTITION WALL	[UL #J061] 1HR-INTERIOR PARTITION WALL	[UL #J062] 1HR-INTERIOR PARTITION WALL	[UL #J063] 1HR-INTERIOR PARTITION WALL	[UL #J064] 1HR-INTERIOR PARTITION WALL	[UL #J065] 1HR-INTERIOR PARTITION WALL	[UL #J066] 1HR-INTERIOR PARTITION WALL	[UL #J067] 1HR-INTERIOR PARTITION WALL	[UL #J068] 1HR-INTERIOR PARTITION WALL	[UL #J069] 1HR-INTERIOR PARTITION WALL	[UL #J070] 1HR-INTERIOR PARTITION WALL	[UL #J071] 1HR-INTERIOR PARTITION WALL	[UL #J072] 1HR-INTERIOR PARTITION WALL	[UL #J073] 1HR-INTERIOR PARTITION WALL	[UL #J074] 1HR-INTERIOR PARTITION WALL	[UL #J075] 1HR-INTERIOR PARTITION WALL	[UL #J076] 1HR-INTERIOR PARTITION WALL	[UL #J077] 1HR-INTERIOR PARTITION WALL	[UL #J078] 1HR-INTERIOR PARTITION WALL	[UL #J079] 1HR-INTERIOR PARTITION WALL	[UL #J080] 1HR-INTERIOR PARTITION WALL	[UL #J081] 1HR-INTERIOR PARTITION WALL	[UL #J082] 1HR-INTERIOR PARTITION WALL	[UL #J083] 1HR-INTERIOR PARTITION WALL	[UL #J084] 1HR-INTERIOR PARTITION WALL	[UL #J085] 1HR-INTERIOR PARTITION WALL	[UL #J086] 1HR-INTERIOR PARTITION WALL	[UL #J087] 1HR-INTERIOR PARTITION WALL	[UL #J088] 1HR-INTERIOR PARTITION WALL	[UL #J089] 1HR-INTERIOR PARTITION WALL	[UL #J090] 1HR-INTERIOR PARTITION WALL	[UL #J091] 1HR-INTERIOR PARTITION WALL	[UL #J092] 1HR-INTERIOR PARTITION WALL	[UL #J093] 1HR-INTERIOR PARTITION WALL	[UL #J094] 1HR-INTERIOR PARTITION WALL	[UL #J095] 1HR-INTERIOR PARTITION WALL	[UL #J096] 1HR-INTERIOR PARTITION WALL	[UL #J097] 1HR-INTERIOR PARTITION WALL	[UL #J098] 1HR-INTERIOR PARTITION WALL	[UL #J099] 1HR-INTERIOR PARTITION WALL	[UL #J100] 1HR-INTERIOR PARTITION WALL
--	---------------------------------------	-------------------------------------	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--

SYMBOLS

[Symbol] SECTION TAG	[Symbol] DETAIL TAG	[Symbol] INTERIOR ELEVATION TAG	[Symbol] BUILDING ELEVATION TAG
[Symbol] WINDOW	[Symbol] DOOR	[Symbol] WALL	[Symbol] CALLOUT
[Symbol] FLOOR	[Symbol] KEYNOTE	[Symbol] LVT	[Symbol] C/TILE
[Symbol] EQUIPMENT TAG	[Symbol] REVISION TAG	[Symbol] ELEVATION	[Symbol] ELEVATION
[Symbol] SLOPE	[Symbol] SLOPE	[Symbol] SLOPE	[Symbol] SLOPE
[Symbol] DW = DISHWASHER	[Symbol] W = WASHER	[Symbol] WH = WATER HEATER	[Symbol] REF = REFRIGERATOR
[Symbol] C/TILE = CERAMIC TILE	[Symbol] LVT = LAMINATED VINYL TILE	[Symbol] C/TOP = COUNTERTOP	[Symbol] PAN = PANTRY
[Symbol] LIN = LINEN	[Symbol] MR = MACHINE ROOM	[Symbol] JAN = JANITOR	[Symbol] TR = TRASH ROOM
[Symbol] POWR = POWDER ROOM	[Symbol] STOR = STORAGE	[Symbol] FSC = FIRE SPRINKLER CLOSET	[Symbol] 2 HOUR FIRE WALL (DO NOT PENETRATE)



01 UNIT B2 FINISH FLOOR PLAN
3/8" = 1'-0"

UNIT B2	1660 SF	GROSS
UNIT B2 PATIO/BALCONY	80 SF	GROSS
TOTAL UNIT SQUARE FOOTAGE:	1740 SF	

02 UNIT B2 DIMENSION CONTROL PLAN
3/8" = 1'-0"

EQUIPMENT LEGEND AND NOTES

- TOILET PAPER HOLDER MOUNTED AT 15" MIN. A.F.F.
- 24" TOWEL BAR - MOUNTED TOP AT 44" - 48" A.F.F.
- 12" TOWEL BAR - MOUNTED TOP AT 44" - 48" A.F.F.
- SHOWER CURTAIN ROD MOUNTED AT 74" A.F.F.
- 24" CONCEALED MOUNTED GRAB BAR MOUNTED BETWEEN 33" - 38" MAX. A.F.F. @ PRE-FAB SHOWER. GRAB BAR TO BE CONTINUOUS PER TS&MA.
- BUILD-IN FOLD-DOWN SHOWER SEAT TYPICAL MOUNTED AT 18" A.F.F.
- 36" CONCEALED MOUNTED GRAB BAR MOUNTED BETWEEN 33" - 38" MAX. A.F.F.
- 42" CONCEALED MOUNTED GRAB BAR MOUNTED CENTER BETWEEN 33" - 38" MAX. A.F.F.
- 316L TEMPERED GLASS MIRROR TYP. REF. TO I.D. FOR SPEC. MOUNT BOTTOM OF REFLECTING EDGE @ 38" A.F.F. SEE BATHROOM INT. ELEV. VF.
- FLUSH MOUNTED MEDICINE CABINET W/ BTM WOOD DOOR MOUNTED @ 40" A.F.F.
- TYPICAL ROD AND SHELF MOUNTED AT 72" A.F.F. 48" A.F.F. AT A.D.A. UNITS) WITH WOOD OR WIRE SHELF.
- TYPICAL 2 RODS AND SHELF MOUNTED @ 84" A.F.F. AND @ 42" WITH SHELF.
- TYPICAL LOCATION OF BLOCKING FOR GRAB BARS SEE SHEET G1.04 FOR EXACT HEIGHT AND LOCATION.
- PAINTED WOOD OR WIRE SHELVES @ 12" STARTING BOTTOM SHELF @ 36" A.F.F. AND TOP SHELF @ 74". REF. TO UNIT ELEVATIONS.
- PAINTED WOOD OR WIRE SHELVES WITH 12" SPRING STARTING BOTTOM SHELF @ 140" A.F.F. AND TOP SHELF AT 74" A.F.F.
- GLASS SHOWER DOOR MIN 30" MAX 74" W/ GLASS ENCLOSURE TYP. 74"
- TYP. SHELF MOUNTED @ 66" (48" ADA) A.F.F. W/ WIRE WASHER REF. TO UNIT ELEVATIONS.
- TYPICAL ROD AND SHELF LOCATED AT 48" & 54" MAX. A.F.F. TYP. (36" A.F.F. @ A.D.A. UNITS).
- SHOWER HEAD TO BE MOUNTED AT 74" A.F.F. @ 24" AT TYPICAL ADA UNITS. ADA UNITS TO BE EQUIPPED WITH ADJUSTABLE WAND.

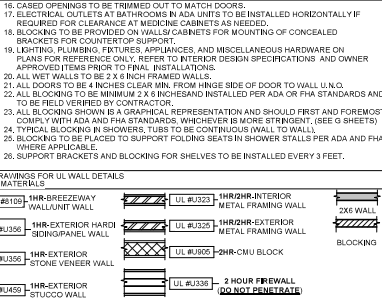
UNIT PLAN GENERAL NOTE

- TOWEL RING/HOOK - MOUNTED TOP AT 48" A.F.F.
- TYPICAL 18" GRAB BAR MOUNTED VERTICALLY BOTTOM OF GRAB BAR TO BE MOUNTED 41" A.F.F.
- SHAMPOO NICHE W/ BOTTOM OF LEDGE MOUNTED 8'-2" ABOVE TUB, 4'-0" ABOVE SHOWER PAN W/ ADDITIONAL WATERPROOFING @ WALL CORNER & PENETRATIONS.
- TWO GLASS SHELVES ABOVE KITCHEN SINK MOUNTED AT 57" & 68"
- 18" TOWEL BAR - MOUNTED TOP AT 44"-48" A.F.F.
- VERTICAL BLOCKING ADJACENT TO SHOWER
- 32" CONCEALED MOUNTED GRAB BAR MOUNTED 33" - 38" MAX. 6" FROM ADJ. WALLS. TYP. ADA UNITS
- WALL MOUNTED EXHAUST FAN, REF. MEP & ELEVATIONS FOR LOCATIONS. COORDINATE W/ PLUMBING & WALL CONDITIONS.
- SEE SHEET G1.04 FOR ADDITIONAL INFORMATION.
- NOTE: 54" MAX HT. A.F.F. TO WASHER & DRYER CONTROLS @ 38" A.F.F. SEE BATHROOM INT. ELEV. VF.

WALL TYPES LEGENDS

[UL #J000] 1HR-INTERIOR PARTITION WALL	[UL #J001] 2HR-STAIR WALL	[UL #J002] 1HR-INTERIOR CORRIDOR WALL	[UL #J003] 1HR-INTERIOR TENANT WALL	[UL #J004] 1HR-INTERIOR TENANT WALL	[UL #J005] 1HR-INTERIOR TENANT WALL	[UL #J006] 2HR-STAIR/INT WALL	[UL #J007] 1HR-INTERIOR BRICK WALL	[UL #J008] 1HR-RECREWAY WALL/UNIT WALL	[UL #J009] 1HR-RECREWAY WALL/UNIT WALL	[UL #J010] 1HR-RECREWAY HARD 3DINGPANEL WALL	[UL #J011] 2HR-EXTERIOR STONE VENEER WALL	[UL #J012] 1HR-EXTERIOR BRICK WALL	[UL #J013] 2HR/2HR-INTERIOR METAL FRAMING WALL	[UL #J014] 2HR/2HR-EXTERIOR METAL FRAMING WALL	[UL #J015] 2HR-CMU BLOCK	[UL #J016] 2 HOUR FIREWALL (DO NOT PENETRATE)
--	---------------------------	---------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------	------------------------------------	--	--	--	---	------------------------------------	--	--	--------------------------	---

SYMBOLS



NOT ALL U/L LISTED WILL BE USED REFER TO DETAIL DRAWINGS FOR U/L WALL DETAILS REFER TO ELEVATIONS FOR TYPE OF EXTERIOR FINISH MATERIALS.

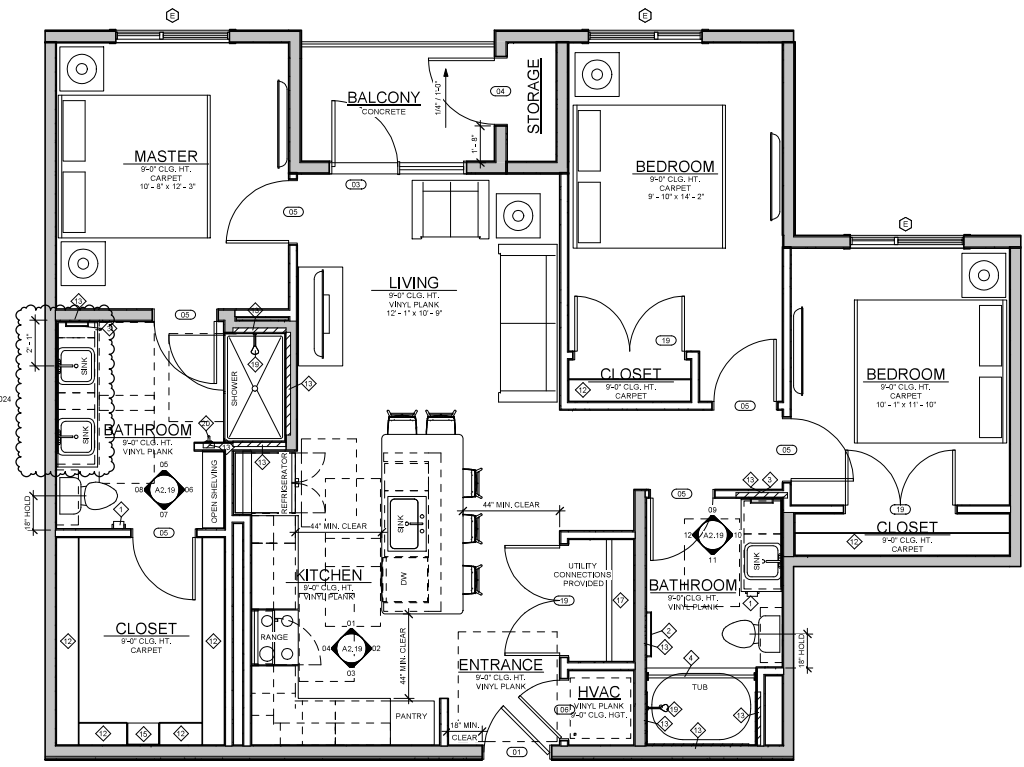
- 16. CASSED OPENINGS TO BE TRIMMED OUT TO MATCH DOORS.
- 17. ELECTRICAL OUTLETS AT BATHROOMS IN ADA UNITS TO BE INSTALLED HORIZONTALLY IF REQUIRED FOR CLEARANCE AT MEDICINE CABINETS AS NEEDED.
- 18. BLOCKING TO BE PROVIDED ON WALLS/CABINETS FOR MOUNTING OF CONCEALED BRACKETS FOR COUNTERTOP SUPPORT.
- 19. LIGHTING, PLUMBING, FIXTURES, APPLIANCES, AND MISCELLANEOUS HARDWARE ON PLANS FOR REFERENCE ONLY. REFER TO INTERIOR DESIGN SPECIFICATIONS AND OWNER APPROVED ITEMS PRIOR TO FINAL INSTALLATIONS.
- 20. ALL WET WALLS TO BE 2 X 6 INCH FRAMED WALLS.
- 21. ALL DOORS TO BE 4 INCHES CLEAR MIN. FROM HINGE SIDE OF DOOR TO WALL U.N.O.
- 22. ALL BLOCKING TO BE MINIMUM 2 X 8 INCHES AND INSTALLED PER ADA OR FHA STANDARDS AND TO BE FIELD VERIFIED BY CONTRACTOR.
- 23. ALL BLOCKING SHOWN IS A GRAPHICAL REPRESENTATION AND SHOULD FIRST AND FOREMOST CORRELATE WITH ADA AND FHA STANDARDS, WHICHEVER IS MORE STRINGENT. (SEE 9 SHEETS)
- 24. TYPICAL BLOCKING IN SHOWERS, TUBS TO BE CONTINUOUS (WALL TO WALL).
- 25. BLOCKING TO BE PLACED TO SUPPORT FOLDING SEATS IN SHOWER STALLS PER ADA AND FHA WHERE APPLICABLE.
- 26. SUPPORT BRACKETS AND BLOCKING FOR BRACKETS TO BE INSTALLED EVERY 3 FEET.

HEIGHTS AT CROWLEY ROAD
Fort Worth, TX

ARRIVE! ARCHITECTURE GROUP
Architecture Planning Project Management
2344 Highway 121 - Suite 100 - Bedford, Texas 76021 - www.arriveag.com
PH: 817.514.0584 - FX: 817.514.0594



06/10/2024
AAG JMT
06/10/2024
A2.13



01 UNIT C1 - FINISH FLOOR PLAN
3/8" = 1'-0"

UNIT C1	1207 SF	GROSS
UNIT C1 RATES/BALCONY	66 SF	GROSS
TOTAL UNIT SQUARE FOOTAGE:	1273 SF	

EQUIPMENT LEGEND AND NOTES

- 1. TOILET PAPER HOLDER MOUNTED AT 15" MIN. A.F.F.
- 2. TOWEL BAR - MOUNTED TOP AT 41" - 48" A.F.F.
- 3. TOWEL BAR - MOUNTED TOP AT 44" - 48" A.F.F.
- 4. SHOWER CURTAIN ROD MOUNTED AT 74" A.F.F.
- 5. CONCEALED MOUNTED GRAB BAR MOUNTED BETWEEN 31" - 38" MAX. A.F.F.
- 6. CONCEALED MOUNTED GRAB BAR MOUNTED CENTER BETWEEN 33" - 36" MAX. A.F.F.
- 7. CONCEALED MOUNTED GRAB BAR MOUNTED CENTER BETWEEN 33" - 36" MAX. A.F.F.
- 8. TEMPERED GLASS MIRROR TYP. REF. TO L.O. FOR SPEC. MOUNT BOTTOM OF REFLECTING EDGE @ 38" A.F.F. - SEE BATHROOM INT. ELEV. VF.
- 9. FLUSH MOUNTED MEDICINE CABINET W/ BTM WOOD DOOR MOUNTED @ 40" A.F.F.
- 10. TYPICAL ROD AND SHELF MOUNTED AT 72" A.F.F. (48" A.F.F. AT A.D.A. UNITS) WITH WOOD OR WIRE SHELF.
- 11. SHAMPOO NICHE W/ BOTTOM OF LEDGE MOUNTED @ 2" ABOVE TUB, 4" ABOVE SHOWER PAN W/ ADDITIONAL WATERPROOFING @ WALL CORNER & PENETRATIONS.
- 12. PAINTED WOOD OR WIRE SHELVES @ 12" STARTING BOTTOM SHELF @ 36" A.F.F. AND TOP SHELF @ 7'-0", REF. TO UNIT ELEVATIONS.
- 13. PAINTED WOOD OR WIRE SHELVES WITH 12" SPRING STARTING BOTTOM SHELF @ 1'-0" A.F.F. AND TOP SHELF AT 7'-0" A.F.F.
- 14. GLASS SHOWER DOOR MIN 30" MAX 7'-0" W/ GLASS ENCLOSURE TYP. 7'-0"
- 15. TYP. SHELF MOUNTED @ 66" (46" ADA) A.F.F. DISHWASHER REF. TO UNIT ELEVATIONS.
- 16. TYPICAL ROD AND SHELF LOCATED AT 48" & 54" MAX. A.F.F. TYP. (36" A.F.F. @ A.D.A. UNITS)
- 17. SHOWER HEAD TO BE MOUNTED AT 74" A.F.F. (6'-2") AT TYPICAL ADA UNITS. ADA UNITS TO BE EQUIPPED WITH ADJUSTABLE WAND.

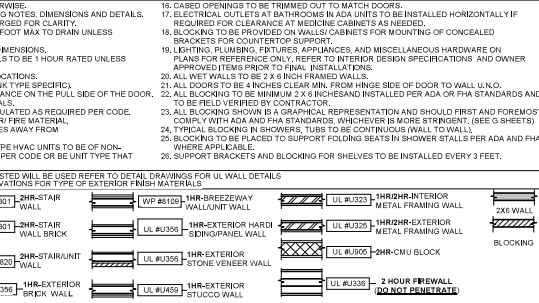
UNIT PLAN GENERAL NOTE

- 1. DETAILS ON THIS SHEET ARE TYPICAL UNLESS NOTED OTHERWISE.
- 2. REFER TO SHEET A206 FOR FLASHING AND WATERPROOFING NOTES, DIMENSIONS AND DETAILS.
- 3. SOME TOLERANCES BETWEEN MATERIALS ARE SHOWN ENLARGED FOR CLARITY.
- 4. SLOPE ALL FINISHED SURFACES OF PARTITIONS 1/4 INCH PER FOOT MAX TO DRAIN UNLESS OTHERWISE NOTED.
- 5. REFER TO ENLARGED PLANS FOR ADDITIONAL NOTES AND DIMENSIONS.
- 6. ALL EXTERIOR INTERIOR BEARING, AND SEPARATION WALLS TO BE 1 HOUR RATED UNLESS OTHERWISE NOTED.
- 7. REFER TO ELEVATIONS/MEP PLANS FOR EXTERIOR LIGHT LOCATIONS.
- 8. REFER TO 26 SHEETS FOR ADA SINK HEIGHT GUIDELINES (SINK TYPE SPECIFIC).
- 9. ALL UNIT ENTRY DOORS TO HAVE A MINIMUM 18 INCH CLEARANCE ON THE PULL SIDE OF THE DOOR.
- 10. 18 INCH HOLD AT TOILET TO BE HELD FROM FINISH MATERIALS.
- 11. FIRE SPRINKLER PIPES CROSSING BREEZEWAYS TO BE INSULATED AS REQUIRED PER CODE.
- 12. DRYER EXHAUST VENTS TO BE LOCATED MINIMUM 36 INCHES AWAY FROM PERMEABLE WINDOW OPENINGS.
- 13. FURRO-DOWNS AT BATHROOM FOR PANCAKE/CASSETTE TYPE HVAC UNITS TO BE OF NON-COMBUSTIBLE CONSTRUCTION/MATERIALS AS REQUIRED PER CODE OR BE UNIT TYPE THAT DOES NOT REQUIRE NON-COMBUSTIBLE CONSTRUCTION.
- 14. CASING OPENINGS TO BE TRIMMED OUT TO MATCH DOORS.
- 15. ELECTRICAL OUTLETS AT BATHROOMS IN ADA UNITS TO BE INSTALLED HORIZONTALLY IF REQUIRED FOR CLEARANCE AT MEDICINE CABINETS AS NEEDED.
- 16. BLOCKING TO BE PROVIDED ON WALLS/CABINETS FOR MOUNTING OF CONCEALED BRACKETS FOR COUNTERTOP SUPPORT.
- 17. LIGHTING, PLUMBING, FIXTURES, APPLIANCES, AND MISCELLANEOUS HARDWARE ON APPROVED ITEMS PRIOR TO FINAL INSTALLATIONS.
- 18. ALL WET WALLS TO BE 2 X 6 INCH FRAMED WALLS.
- 19. ALL DOORS TO BE 4 INCHES CLEAR MIN. FROM HINGE SIDE OF DOOR TO WALL U.N.O.
- 20. ALL BLOCKING TO BE MINIMUM 2 X 8 INCHES AND INSTALLED PER ADA OR FHA STANDARDS AND TO BE FIELD VERIFIED BY CONTRACTOR.
- 21. ALL BLOCKING SHOWN IS A GRAPHICAL REPRESENTATION AND SHOULD FIRST AND FOREMOST COMPLY WITH ADA AND FHA STANDARDS, WHICHEVER IS MORE STRINGENT. (SEE 0 SHEETS)
- 22. TYPICAL BLOCKING IN SHOWERS, TUBS TO BE CONTINUOUS (WALL TO WALL).
- 23. BLOCKING TO BE PLACED TO SUPPORT FOLDING SEATS IN SHOWER STALLS PER ADA AND FHA WHERE APPLICABLE.
- 24. SUPPORT BRACKETS AND BLOCKING FOR SHELVES TO BE INSTALLED EVERY 3 FEET.

WALL TYPES LEGENDS

[UL #U300] 1HR-INTERIOR PARTITION WALL	[UL #U301] 2HR-STAIR WALL	[UL #U302] 2HR-STAIR WALL BREAK	[UL #U303] 1HR-INTERIOR CORRIDOR WALL	[UL #U304] 1HR-INTERIOR TENANT WALL	[UL #U305] 1HR-INTERIOR WALL	[UL #U306] 1HR-EXTERIOR BRICK WALL	[UL #U307] 1HR-EXTERIOR STUCCO WALL	[UL #U308] 1HR-EXTERIOR WALL/UNIT WALL	[UL #U309] 1HR-EXTERIOR HARD 3DING/PANEL WALL	[UL #U310] 2HR-EXTERIOR STONE/CONCRETE WALL	[UL #U311] 1HR-EXTERIOR BRICK WALL	[UL #U312] 1HR-EXTERIOR STUCCO WALL	[UL #U313] 1HR-EXTERIOR STUCCO WALL	[UL #U314] 1HR-EXTERIOR STUCCO WALL	[UL #U315] 1HR-EXTERIOR STUCCO WALL	[UL #U316] 1HR-EXTERIOR STUCCO WALL	[UL #U317] 1HR-EXTERIOR STUCCO WALL	[UL #U318] 1HR-EXTERIOR STUCCO WALL	[UL #U319] 1HR-EXTERIOR STUCCO WALL	[UL #U320] 1HR-EXTERIOR STUCCO WALL	[UL #U321] 1HR-EXTERIOR STUCCO WALL	[UL #U322] 1HR-EXTERIOR STUCCO WALL	[UL #U323] 1HR-EXTERIOR STUCCO WALL	[UL #U324] 1HR-EXTERIOR STUCCO WALL	[UL #U325] 1HR-EXTERIOR STUCCO WALL	[UL #U326] 1HR-EXTERIOR STUCCO WALL	[UL #U327] 1HR-EXTERIOR STUCCO WALL	[UL #U328] 1HR-EXTERIOR STUCCO WALL	[UL #U329] 1HR-EXTERIOR STUCCO WALL	[UL #U330] 1HR-EXTERIOR STUCCO WALL	[UL #U331] 1HR-EXTERIOR STUCCO WALL	[UL #U332] 1HR-EXTERIOR STUCCO WALL	[UL #U333] 1HR-EXTERIOR STUCCO WALL	[UL #U334] 1HR-EXTERIOR STUCCO WALL	[UL #U335] 1HR-EXTERIOR STUCCO WALL	[UL #U336] 1HR-EXTERIOR STUCCO WALL	[UL #U337] 1HR-EXTERIOR STUCCO WALL	[UL #U338] 1HR-EXTERIOR STUCCO WALL	[UL #U339] 1HR-EXTERIOR STUCCO WALL	[UL #U340] 1HR-EXTERIOR STUCCO WALL	[UL #U341] 1HR-EXTERIOR STUCCO WALL	[UL #U342] 1HR-EXTERIOR STUCCO WALL	[UL #U343] 1HR-EXTERIOR STUCCO WALL	[UL #U344] 1HR-EXTERIOR STUCCO WALL	[UL #U345] 1HR-EXTERIOR STUCCO WALL	[UL #U346] 1HR-EXTERIOR STUCCO WALL	[UL #U347] 1HR-EXTERIOR STUCCO WALL	[UL #U348] 1HR-EXTERIOR STUCCO WALL	[UL #U349] 1HR-EXTERIOR STUCCO WALL	[UL #U350] 1HR-EXTERIOR STUCCO WALL	[UL #U351] 1HR-EXTERIOR STUCCO WALL	[UL #U352] 1HR-EXTERIOR STUCCO WALL	[UL #U353] 1HR-EXTERIOR STUCCO WALL	[UL #U354] 1HR-EXTERIOR STUCCO WALL	[UL #U355] 1HR-EXTERIOR STUCCO WALL	[UL #U356] 1HR-EXTERIOR STUCCO WALL	[UL #U357] 1HR-EXTERIOR STUCCO WALL	[UL #U358] 1HR-EXTERIOR STUCCO WALL	[UL #U359] 1HR-EXTERIOR STUCCO WALL	[UL #U360] 1HR-EXTERIOR STUCCO WALL	[UL #U361] 1HR-EXTERIOR STUCCO WALL	[UL #U362] 1HR-EXTERIOR STUCCO WALL	[UL #U363] 1HR-EXTERIOR STUCCO WALL	[UL #U364] 1HR-EXTERIOR STUCCO WALL	[UL #U365] 1HR-EXTERIOR STUCCO WALL	[UL #U366] 1HR-EXTERIOR STUCCO WALL	[UL #U367] 1HR-EXTERIOR STUCCO WALL	[UL #U368] 1HR-EXTERIOR STUCCO WALL	[UL #U369] 1HR-EXTERIOR STUCCO WALL	[UL #U370] 1HR-EXTERIOR STUCCO WALL	[UL #U371] 1HR-EXTERIOR STUCCO WALL	[UL #U372] 1HR-EXTERIOR STUCCO WALL	[UL #U373] 1HR-EXTERIOR STUCCO WALL	[UL #U374] 1HR-EXTERIOR STUCCO WALL	[UL #U375] 1HR-EXTERIOR STUCCO WALL	[UL #U376] 1HR-EXTERIOR STUCCO WALL	[UL #U377] 1HR-EXTERIOR STUCCO WALL	[UL #U378] 1HR-EXTERIOR STUCCO WALL	[UL #U379] 1HR-EXTERIOR STUCCO WALL	[UL #U380] 1HR-EXTERIOR STUCCO WALL	[UL #U381] 1HR-EXTERIOR STUCCO WALL	[UL #U382] 1HR-EXTERIOR STUCCO WALL	[UL #U383] 1HR-EXTERIOR STUCCO WALL	[UL #U384] 1HR-EXTERIOR STUCCO WALL	[UL #U385] 1HR-EXTERIOR STUCCO WALL	[UL #U386] 1HR-EXTERIOR STUCCO WALL	[UL #U387] 1HR-EXTERIOR STUCCO WALL	[UL #U388] 1HR-EXTERIOR STUCCO WALL	[UL #U389] 1HR-EXTERIOR STUCCO WALL	[UL #U390] 1HR-EXTERIOR STUCCO WALL	[UL #U391] 1HR-EXTERIOR STUCCO WALL	[UL #U392] 1HR-EXTERIOR STUCCO WALL	[UL #U393] 1HR-EXTERIOR STUCCO WALL	[UL #U394] 1HR-EXTERIOR STUCCO WALL	[UL #U395] 1HR-EXTERIOR STUCCO WALL	[UL #U396] 1HR-EXTERIOR STUCCO WALL	[UL #U397] 1HR-EXTERIOR STUCCO WALL	[UL #U398] 1HR-EXTERIOR STUCCO WALL	[UL #U399] 1HR-EXTERIOR STUCCO WALL	[UL #U400] 1HR-EXTERIOR STUCCO WALL
--	---------------------------	---------------------------------	---------------------------------------	-------------------------------------	------------------------------	------------------------------------	-------------------------------------	--	---	---	------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------

SYMBOLS



WALL TYPES LEGENDS

[UL #U300] 1HR-INTERIOR PARTITION WALL	[UL #U301] 2HR-STAIR WALL	[UL #U302] 2HR-STAIR WALL BREAK	[UL #U303] 1HR-INTERIOR CORRIDOR WALL	[UL #U304] 1HR-INTERIOR TENANT WALL	[UL #U305] 1HR-INTERIOR WALL	[UL #U306] 1HR-EXTERIOR BRICK WALL	[UL #U307] 1HR-EXTERIOR STUCCO WALL	[UL #U308] 1HR-EXTERIOR STUCCO WALL	[UL #U309] 1HR-EXTERIOR STUCCO WALL	[UL #U310] 1HR-EXTERIOR STUCCO WALL	[UL #U311] 1HR-EXTERIOR STUCCO WALL	[UL #U312] 1HR-EXTERIOR STUCCO WALL	[UL #U313] 1HR-EXTERIOR STUCCO WALL	[UL #U314] 1HR-EXTERIOR STUCCO WALL	[UL #U315] 1HR-EXTERIOR STUCCO WALL	[UL #U316] 1HR-EXTERIOR STUCCO WALL	[UL #U317] 1HR-EXTERIOR STUCCO WALL	[UL #U318] 1HR-EXTERIOR STUCCO WALL	[UL #U319] 1HR-EXTERIOR STUCCO WALL	[UL #U320] 1HR-EXTERIOR STUCCO WALL	[UL #U321] 1HR-EXTERIOR STUCCO WALL	[UL #U322] 1HR-EXTERIOR STUCCO WALL	[UL #U323] 1HR-EXTERIOR STUCCO WALL	[UL #U324] 1HR-EXTERIOR STUCCO WALL	[UL #U325] 1HR-EXTERIOR STUCCO WALL	[UL #U326] 1HR-EXTERIOR STUCCO WALL	[UL #U327] 1HR-EXTERIOR STUCCO WALL	[UL #U328] 1HR-EXTERIOR STUCCO WALL	[UL #U329] 1HR-EXTERIOR STUCCO WALL	[UL #U330] 1HR-EXTERIOR STUCCO WALL	[UL #U331] 1HR-EXTERIOR STUCCO WALL	[UL #U332] 1HR-EXTERIOR STUCCO WALL	[UL #U333] 1HR-EXTERIOR STUCCO WALL	[UL #U334] 1HR-EXTERIOR STUCCO WALL	[UL #U335] 1HR-EXTERIOR STUCCO WALL	[UL #U336] 1HR-EXTERIOR STUCCO WALL	[UL #U337] 1HR-EXTERIOR STUCCO WALL	[UL #U338] 1HR-EXTERIOR STUCCO WALL	[UL #U339] 1HR-EXTERIOR STUCCO WALL	[UL #U340] 1HR-EXTERIOR STUCCO WALL	[UL #U341] 1HR-EXTERIOR STUCCO WALL	[UL #U342] 1HR-EXTERIOR STUCCO WALL	[UL #U343] 1HR-EXTERIOR STUCCO WALL	[UL #U344] 1HR-EXTERIOR STUCCO WALL	[UL #U345] 1HR-EXTERIOR STUCCO WALL	[UL #U346] 1HR-EXTERIOR STUCCO WALL	[UL #U347] 1HR-EXTERIOR STUCCO WALL	[UL #U348] 1HR-EXTERIOR STUCCO WALL	[UL #U349] 1HR-EXTERIOR STUCCO WALL	[UL #U350] 1HR-EXTERIOR STUCCO WALL	[UL #U351] 1HR-EXTERIOR STUCCO WALL	[UL #U352] 1HR-EXTERIOR STUCCO WALL	[UL #U353] 1HR-EXTERIOR STUCCO WALL	[UL #U354] 1HR-EXTERIOR STUCCO WALL	[UL #U355] 1HR-EXTERIOR STUCCO WALL	[UL #U356] 1HR-EXTERIOR STUCCO WALL	[UL #U357] 1HR-EXTERIOR STUCCO WALL	[UL #U358] 1HR-EXTERIOR STUCCO WALL	[UL #U359] 1HR-EXTERIOR STUCCO WALL	[UL #U360] 1HR-EXTERIOR STUCCO WALL	[UL #U361] 1HR-EXTERIOR STUCCO WALL	[UL #U362] 1HR-EXTERIOR STUCCO WALL	[UL #U363] 1HR-EXTERIOR STUCCO WALL	[UL #U364] 1HR-EXTERIOR STUCCO WALL	[UL #U365] 1HR-EXTERIOR STUCCO WALL	[UL #U366] 1HR-EXTERIOR STUCCO WALL	[UL #U367] 1HR-EXTERIOR STUCCO WALL	[UL #U368] 1HR-EXTERIOR STUCCO WALL	[UL #U369] 1HR-EXTERIOR STUCCO WALL	[UL #U370] 1HR-EXTERIOR STUCCO WALL	[UL #U371] 1HR-EXTERIOR STUCCO WALL	[UL #U372] 1HR-EXTERIOR STUCCO WALL	[UL #U373] 1HR-EXTERIOR STUCCO WALL	[UL #U374] 1HR-EXTERIOR STUCCO WALL	[UL #U375] 1HR-EXTERIOR STUCCO WALL	[UL #U376] 1HR-EXTERIOR STUCCO WALL	[UL #U377] 1HR-EXTERIOR STUCCO WALL	[UL #U378] 1HR-EXTERIOR STUCCO WALL	[UL #U379] 1HR-EXTERIOR STUCCO WALL	[UL #U380] 1HR-EXTERIOR STUCCO WALL	[UL #U381] 1HR-EXTERIOR STUCCO WALL	[UL #U382] 1HR-EXTERIOR STUCCO WALL	[UL #U383] 1HR-EXTERIOR STUCCO WALL	[UL #U384] 1HR-EXTERIOR STUCCO WALL	[UL #U385] 1HR-EXTERIOR STUCCO WALL	[UL #U386] 1HR-EXTERIOR STUCCO WALL	[UL #U387] 1HR-EXTERIOR STUCCO WALL	[UL #U388] 1HR-EXTERIOR STUCCO WALL	[UL #U389] 1HR-EXTERIOR STUCCO WALL	[UL #U390] 1HR-EXTERIOR STUCCO WALL	[UL #U391] 1HR-EXTERIOR STUCCO WALL	[UL #U392] 1HR-EXTERIOR STUCCO WALL	[UL #U393] 1HR-EXTERIOR STUCCO WALL	[UL #U394] 1HR-EXTERIOR STUCCO WALL	[UL #U395] 1HR-EXTERIOR STUCCO WALL	[UL #U396] 1HR-EXTERIOR STUCCO WALL	[UL #U397] 1HR-EXTERIOR STUCCO WALL	[UL #U398] 1HR-EXTERIOR STUCCO WALL	[UL #U399] 1HR-EXTERIOR STUCCO WALL	[UL #U400] 1HR-EXTERIOR STUCCO WALL
--	---------------------------	---------------------------------	---------------------------------------	-------------------------------------	------------------------------	------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------	-------------------------------------

A2.17 UNIT C1 - PLAN